# SOUTHVIEWGREEN RENOVATION & REHAB. ROUND GROVE PLACE HOPE MILLS, NORTH CAROLINA 28348



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# PROJECT DIRECTORY

# OWNER

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**PLUMBING** 

**MECHANICAL** 

ELECTRICAL

**ENERGY** 

ZONING

# **BUILDING CODES**

BUILDING

AMENDMENTS)

-2020 NORTH CAROLINA ELECTRICAL CODE (NFPA 70, 2020 w/ NC

-2018 NORTH CAROLINA ENERGY CONSERVATION CODE (IECC 2015 w/ NC

-2018 NORTH CAROLINA FIRE CODE (IFC 2015 w/ NC AMENDMENTS)

ACCESSIBILITY -ANSI/ICC A117.1-2009 -FAIR HOUSING ACT

-LOCAL ZONING ORDINANCE

-2018 NORTH CAROLINA STATE EXISTING BUILDING CODE (IEBC 2015 w/ NC

-2018 NORTH CAROLINA PLUMBING CODE (IPC 2015 w/ NC AMENDMENTS) -2018 NORTH CAROLINA MECHANICAL CODE (IMC 2015 w/ NC AMENDMENTS)

AMENDMENTS)

**AMENDMENTS** 

-2010 ADA GUIDELINES

-UFAS (UNIFORM FEDERAL ACCESSIBILITY STANDARDS)

SCOPE OF WORK FOR INTERIOR IMPROVEMENTS

A. REPLACE KITCHEN CABINETS.

B. REPLACE ALL APPLIANCES AS PER MATRIX - APPROXIMATELY 72 UNITS.

1. RECIRCULATING RANGE HOODS.

2. ADD ANTI-TIP DEVICE TO RANGE SECURED TO WALL & FLOOR.

C. REPLACE ALL COUNTERTOPS.

D. REPLACE SPLASH GUARDS BEHIND RANGE AS PER MATRIX - APPROXIMATELY 60 UNITS.

E. REPAINT ALL UNITS AS PER MATRIX - APPROXIMATELY 80 UNITS.

F. ADD HARDWIRED DEHUMIDIFIER w/ HARD PIPED CONDENSATE TO ALL GROUND FLOOR MECH CLOSETS THAT DO NOT HAVE ONE.

G. REPLACE ALL FLOORING w/ LVP & INSTALL SHOE MOLD PER MATRIX - APPROXIMATELY 74 UNITS

1. INCLUDING BEHIND RANGE & FRIDGE, INSIDE OF MECH CLOSET, & BEHIND ALL REMOVABLE CABINETS

2. MECH CLOSET - EPOXY FLOOR ON 1st & VCT ON 2nd.

H. REPLACE ALL LIGHT FIXTURES, ADDING CEILING FANS TO ALL BEDROOMS.

1. UNIT BEDROOMS w/ BUNK BEDS TO HAVE CEILING FAN STORED ON SITE.

2. FANS MUST HAVE TWO SWITCHES (ONE FOR THE LIGHT & ONE FOR THE FAN). I. EXAMINE ALL BATH FANS & REPLACE/REPAIR AS NEEDED.

1. WIRE BATH FAN TO MAIN CEILING LIGHT IN ALL BATHROOMS AS PER QAP REQUIREMENTS.

J. REPLACE ALL AIR HANDLERS PER MATRIX - APPROXIMATELY 82 UNITS

1. ENCLOSE AIR RETURNS.

2. NEW TOP DISTRIBUTION COLLARS.

K. REPLACE ALL CONDENSERS. NEW REFRIGERANT AND PROPERLY SIZED SUPPLY LINES PER MATRIX -

APPROXIMATELY 75 UNITS L. EXAMINE & CLEAN ALL DRYER LINES TO ENSURE THAT THEY ARE HARD DUCTED TO THE EXTERIOR.

LOWER DRYER VENT HOOKUP TO BE JUST ABOVE (ON) THE BOTTOM PLATE.

M. REPLACE ALL RECEPTACLES, SWITCHES, & COVER PLATES. 1. INCLUDING ADDING SWITCHES FOR VENT HOOD FAN & LIGHT ADJACENT TO THE RANGE AT THE HC WORKSPACE IN HC UNITS.

2. CHECK DRYER PLUGS AND REPLACE ONLY IF FAULTY.

N. REPLACE ALL SMOKE DETECTORS w/ HARDWIRED INTERCONNECTED SMOKE DETECTORS. 1. AT LEAST ONE SMOKE DETECTOR IN THE MAIN AREA OF EACH UNIT SHALL ALSO BE A CO DETECTOR.

O. REPLACE ALL SHOWER/TUBS & VALVES PER MATRIX - APPROXIMATELY 70 UNITS

P. REPLACE ALL TOILETS INCLUDING REPLACING ELONGATED TOILETS IN HC UNITS.

Q. REPLACE DAMAGED OR RUSTED WASHER BOXES, AS PER MATRIX - APPROXIMATELY 40 UNITS.

R. REPLACE WATER HEATERS OLDER THAN 5 YEARS PER MATRIX - APPROXIMATELY 72 UNITS.

1. INCLUDING OVERFLOW PANS & ENSURE THAT THEY ARE PIPED TO THE EXTERIOR.

2. PROPERLY INSTALLED & SECURED EXPANSION TANKS.

3. BACKFLOW PREVENTER

S. INSPECT & REPAIR/REPLACE INDIVIDUAL UNIT WATER SHUT-OFF VALVES IN LOCATIONS THAT ARE ACCESSIBLE TO THE TENANT & ADD LABELS.

T. REPLACE SINKS & FAUCETS IN ALL KITCHENS AND BATHROOMS.

U. REPLACE INTERIOR DOORS AS PER MATRIX - APPROXIMATELY 57 UNITS

V. REPLACE VINYL COATED WIRE SHELVING AS PER MATRIX - APPROXIMATELY 40 UNITS

W. HC UNITS:

1. ADD ROUNDED CORNERS TO HC UNITS.

2. ALL DOOR LOCKS TO BE PUSH-BUTTON (THUMB-TURN FOR DEADBOLT OK).

3. REMOVABLE CABINETS IN BATHROOM SHALL HAVE A DRAWER BASE ADJACENT TO THE TUB FOR

INCREASED MANEUVERABILITY.

4. POSSIBLY USE FOLD-UP SIDE GRAB BAR.

5. CONTROLS NEAR SEAT OF ROLL-IN SHOWER.

SPOUT & CONTROLS OF TUB/SHOWER OFFSET.

7. STEP-IN SHOWER AT SECOND BATH IN HC.

X. ENSURE 100SI MAKE UP AIR TO LAUNDRY CLOSET. MAY NEED TO ADD VENT.

Y. ENSURE NO FOREIGN OBJECTS ARE IN ANY ELEC. PANEL ENCLOSURES.

Z. UNIT ENTRY LIGHT MUST BE LOW-PROFILE (PROTRUDES <4")

AA. MECH CLOSETS SHALL HAVE A SINGLE CYLINDER DEADBOLT, ACCESSIBLE ONLY TO MAINTENANCE (NO DOORKNOB & NOT ACCESSIBLE TO TENANT).

# PROJECT INFORMATION

# PROJECT DESCRIPTION

REHABILITATION AND RENOVATION OF 72 TWO-STORY EXISTING APARTMENT UNITS IN 9 BUILDINGS; COMMUNITY BUILDING WITH: LAUNDRY, LEASING OFFICE, AND MAINTENANCE; NEW PICNIC PAVILION; DUMPSTER ENCLOSURES; MONUMENT ENTRANCE SIGN; AND OTHER COMMON AREAS AND SITE AMENITIES OF SOUTHVIEW GREEN APARTMENTS IN HOPE MILLS, NC.

# SITE INFORMATION

TOTAL ACREAGE: 7.37± ACRES PARKING TABULATION: TOTAL ON SITE: 147 SPACES HC PARKING: SPACES FOR 18 HC UNITS (18 SPACES) HC VISITOR PARKING: (1 SPACE)

UNIT TYPES

1BR/1BA (STANDARD)

165 STANDARD SPACES: (19 TOT. HC SPACES)

2BR-HC 1BR/1BA (ANSI TYPE 'A' GROUND FLOOR ACCESSIBLE)

2BR-HCS 1BR/1BA (ANSI TYPE 'A' w/ ROLL-IN SHOWER, GROUND FLOOR ACCESSIBLE)

3BR/2BA (STANDARD)

3BR-HC 3BR/2BA (ANSI TYPE 'A' GROUND FLOOR ACCESSIBLE)

3BR-HCS 3BR/2BA (ANSI TYPE 'A' w/ ROLL-IN SHOWER, GROUND FLOOR ACCESSIBLE)

# SCOPE OF WORK FOR BUILDING EXTERIOR IMPROVEMENTS:

A. REPLACE EXTERIOR SIDING w/VINYL & INSPECT FOR WATER INFILTRATION.

B. REPAIR EXISTING FASCIA & BAND BOARD & INSPECT FOR WATER INFILTRATION.

REPAIR & REPLACE THE SOFFIT AS NEEDED.

REPLACE OUTSIDE CORNER POSTS.

REPLACE ROUND COLUMNS w/ SQUARE COLUMNS (PT 6x6 w/ PREFINISHED ALUMINUM

COLUMN WRAP). REPLACE PORCH RAILS w/ VINYL RAILING.

ADD FLASHING ON ALL DECK LANDINGS. REPLACE ROTTING WOOD ON ALL PORCH BALCONIES.

REPLACE WINDOWS.

REPLACE ALL ROOFS.

REPAIR ALL ROOF FLASHING AS NEEDED.

REPLACE BRICK TO SIDING FLASHING.

REPLACE EXTERIOR LIGHTING ON BUILDINGS.

N. ADD CAMERAS FOR SECURITY.

O. REMOVE & REPLACE BUILDING SIGNAGE w/ ANSI TYPE (RAISED LETTERS, BRAILLE, ETC.)

REPAIR CRACKS IN BREEZEWAY CONCRETE & RESURFACE.

REPAIR OR REPLACE ALL GUTTERS & DOWNSPOUTS.

REPLACE EXTERIOR DOORS. ADD PVC BRICK MOLD TRIM

SANDBLAST, TREAT, PRIME, & PAINT UNDERSIDE OF BREEZEWAY STEEL DECK TO REMOVE RUST.

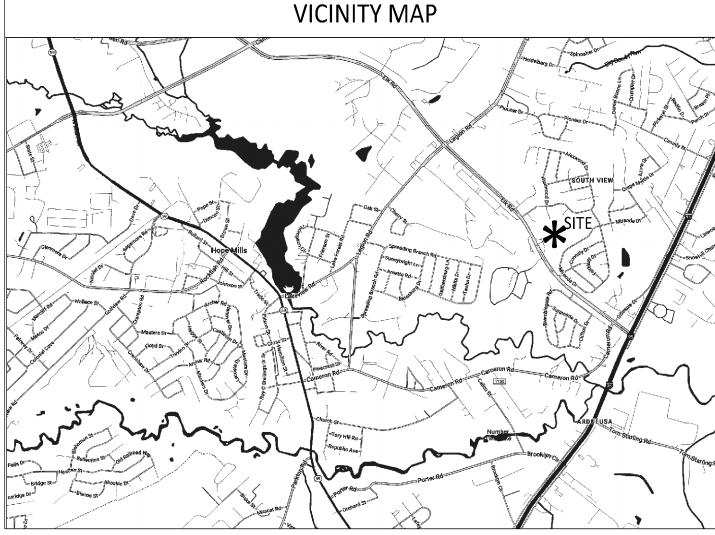
REFRAME SECOND FLOOR BREEZEWAYS TO REMOVE RAILING w/ KNEE-WALL (43" HIGH).

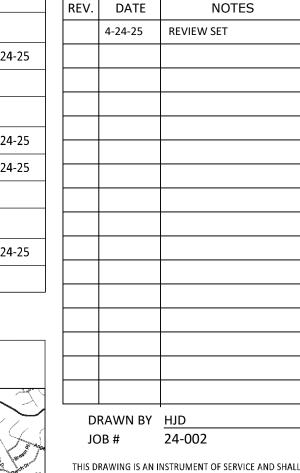
REPLACE DAMAGED GABLE VENTS w/ ONES w/ INTEGRAL INTERIOR SCREENS. REPAINT ALL WOOD SURFACES.

ADD DRAIN TO REMOVE STANDING WATER IN BREEZEWAYS IF NOTED.

	DRAWING INDEX	(							
ARCHITECTURAL									
SHEET#	SHEET TITLE	REVISIONS	DATE						
A-0.00	COVER SHEET		4-24-25						
A-0.01	NCHFA DESIGN GUIDELINES		4-24-25						
A-0.02	HANDICAPPED NOTES AND DETAILS		4-24-25						
A-0.03	SITE PLAN		4-24-25						
A-0.04	NOTES AND SCHEDULES		4-24-25						
A-1.01	BUILDING PLANS		4-24-25						
A-1.02	COMMUNITY BUILDING PLANS		4-24-25						
A-1.03	SITE AMENITIES		4-24-25						
A-2.01	STANDARD UNIT PLANS		4-24-25						
A-2.02	HC UNIT PLANS		4-24-25						
A-2.03	HC UNIT w/ SHOWER PLANS		4-24-25						
A-2.04	INTERIOR ELEVATIONS & DETAILS		4-24-25						
A-3.01	BUILDING ELEVATIONS		4-24-25						
A-3.02	BUILDING #200 ELEVATIONS		4-24-25						
A-3.03	BUILDING #300 ELEVATIONS		4-24-25						
	   MECHANICAL								
M-0.01	MECHANICAL LEGEND AND NOTES		4-24-25						

M-0.01	MECHANICAL LEGEND AND NOTES	4-24-25
	ELECTRICAL	
E-0.01	ELECTRICAL LEGENDS AND ABBREVIATIONS	4-24-25
E-2.01	ELECTRICAL PLANS	4-24-25
	PLUMBING	
P-0.01	PLUMBING NOTES & SCHEDULES	4-24-25





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COVER SHEET

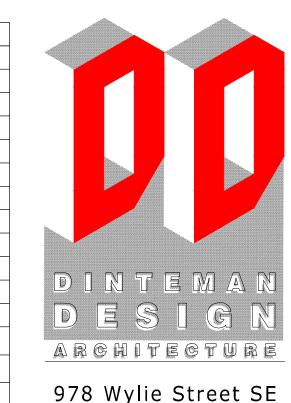
A-0.00

	SOUTHVIEW GREEN - FAYETTEVILLE, NC		
П	STANDARD  RUIL DING AND LINET DESIGN PROVISIONS	LOCATION	СНІ
II.	BUILDING AND UNIT DESIGN PROVISIONS		
A.	EXTERIOR DESIGN AND MATERIALS		
1.	DIFFERENT ROOF PLANES BREAK UP THE ROOF LINES. WIDE DOOR AND WINDOW TRIM PROVIDED. WHERE HORIZONTAL BANDING IS USED BETWEEN FLOOR LEVELS, SEPARATE COLOR TONES ARE USED FOR UPPER AND LOWER LEVELS.	A-3.01-A-3.04	
2.	EXTERIOR FINISHES ARE LOW OR NO MAINTENANCE MATERIALS - EITHER BRICK, FIBER CEMENT, OR HIGH QUALITY VINYL SIDING.	A-3.01-A-3.04	
	VINYL SHALL BE .044" THICKNESS OR GREATER, WITH LIMITED LIFETIME WARRANTY.  WHERE BAND BOARDS ARE ATTACHED TO AND ARE PART OF THE VINYL SIDING APPLICATION, Z-FLASHING IS INSTALLED BEHIND,	SPEC 07465 5/A-6.04	
3.	ON TOP OF, AND BELOW BANDS.  EXTERIOR TRIM IS CONSTRUCTED OF LOW OR NO MAINTENANCE MATERIALS.	A-3.01-A-3.04	
4.	SEAMLESS GUTTERS AND ALUMINUM DRIP EDGE PROVIDED ON ALL GABLE RAKES AND FASCIA. DRIP EDGE MUST EXTEND 2 INCHES	A-3.01-A-3.04; 1-3/A-6.05	
	MINIMUM UNDER THE SHINGLES.  DOWNSPOUTS MUST BE INSTALLED SO AS NOT TO DRAIN ACROSS PEDESTRIAN PATH OF TRAVEL.	SEE CIVIL	
5.	MINIMUM 12" BRICK VENEER EXPOSED ABOVE FINISH GRADE AND LANDSCAPING AT ALL BUILDING FOUNDATIONS.	A-3.01-A-3.04	
6.	BREEZEWAYS AND STAIRWELL CEILINGS CONSTRUCTED OF EXTERIOR RATED MATERIALS.	1/A-5.03, A-5.04	
7.	A MINIMUM 48-INCH PATH OF TRAVEL IS REQUIRED THROUGH BUILDING BREEZEWAYS.	A-2.04-A-2.05	
8. 9.	BUILDINGS AND UNITS IDENTIFIED WITH CLEARLY VISIBLE SIGNAGE AND NUMBERS THAT ARE WELL LIT FROM DUSK TILL DAWN.  AN ACCESSIBLE AUTOMATIC DOOR OPENER IS REQUIRED FOR THE PRIMARY ENTRANCE INTO AND OUT OF ELDERLY CONGREGATE	A-0.04, E-1.01-E-1.03 N/A	
10.	BUILDINGS.  EXTERIOR STAIRS MUST HAVE A MINIMUM CLEAR WIDTH OF 40 INCHES BETWEEN HANDRAILS AND BE COMPLETELY UNDER ROOF	A-2.04-A-2.05	
11.	COVER.  EXTERIOR RAILINGS MADE OF VINYL, ALUMINUM, OR STEEL (NO WOOD).	A-2.04-A-2.05; A-5.04	
12.	ANTI-FUNGAL DIMENSIONAL (ARCHITECTURAL) SHINGLES WITH A MINIMUM 30-YEAR WARRANTY ARE REQUIRED FOR ALL	A-3.01-A-3.04	
13.	SHINGLE ROOF APPLICATIONS.  COVERED DROP-OFFS HAVE A MINIMUM 13 FOOT VEHICLE HEADROOM CLEARANCE.	N/A	
14.	IN VINYL SIDING APPLICATIONS ALL EXTERIOR PENETRATIONS MUST BE INSTALLED IN PLASTIC J-BOXES/MASTER MOUNT SYSTEM.	SPEC 07465	
15.	WEEP HOLES MUST BE BELOW FINISHED SLAB ELEVATION AND NOT COVERED WITH SOD, MULCH FINISHED GRADE OR LANDSCAPING.	7/A6.03	
16.	ALL PROPERTY ENTRANCES MUST HAVE A MONUMENT SIGN WITH BRICK OR STONE COLUMNS AND LIGHTING.	A-0.03, 6/A-1.05	
17.	ALL HVAC CONDENSATE DRAIN LINES MAY NOT DRAIN ON BRICK VENEERS OR SIDING MATERIALS.	M-0.01	
18.	EXTERIOR HALLWAYS, CORRIDORS OR BREEZEWAYS AND INTERIOR HALLWAYS AND CORRIDORS MAY NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.	A-2.04, A-2.05, A-5.04	
19.	THE AGENCY WILL NOT APPROVE ANY FOUR-STORY RESIDENTIAL BUILDINGS WITHOUT AN ELEVATOR WHERE PARKING IS ONLY PROVIDED ON THE 1 <sup>ST</sup> FLOOR.	N/A	
В.	DOORS AND WINDOWS		
1.	ALL PRIMARY UNIT ENTRIES MUST EITHER BE WITHIN A BREEZEWAY OR HAVE A MINIMUM ROOF COVERING OF 3 FEET DEEP BY 5	A-1.01-A-1.03	
2.	FEET WIDE, INCLUDING A CORRESPONDING PORCH OR CONCRETE PAD.  HIGH DURABILITY, INSULATED STEEL OR FIBERGLASS DOORS PROVIDED AT ALL EXTERIOR LOCATIONS.	A-0.04	
	SINGLE LEVER DEADBOLTS AND EYE VIEWERS ON ALL RESIDENTIAL UNIT ENTRY DOORS.	A-0.04	
3.	EXTERIOR DOORS FOR FULLY ACCESSIBLE ("TYPE A") UNITS PROVIDED WITH SPRING HINGES.	A-0.04	
4.	INSULATED, DOUBLE PANE, VINYL WINDOWS MEETING CURRENT NORTH CAROLINA MODEL ENERGY CODE ARE REQUIRED FOR NEW CONSTRUCTION AND REHABILITATION PROJECTS (IF REPLACING WINDOWS). WINDOW U-VALUE SHALL BE 0.30 OR LESS.	A-0.04	
5.	WINDOW SHGC SHALL BE 0.27 OR LESS.  NO WINDOWS LOCATED OVER TUB OR SHOWER UNITS.	A-2.01-A-2.03	
6.	A CONTINUOUS BEAD OF SILICONE CAULK IS INSTALLED BEHIND ALL NAIL FINS BEFORE INSTALLING NEW VINYL WINDOWS PER MANUFACTURER'S SPECIFICATIONS.	A-6.01	
C.	INTERIOR DESIGN AND MATERIALS		
1.	1 BEDROOM UNITS HAVE 660 SQ.FT. (OR GREATER) HEATED AREA AS MEASURED AT INTERIOR WALL FACES, AND 2 BEDROOM UNITS HAVE 900 SQ.FT. 3 BEDROOM UNITS HAVE 1100 SQ.FT. (OR GREATER) HEATED AREA AS MEASURED AT INTERIOR WALL FACES.	A-0.00	
2.	ALL UNITS (EXCEPT FOR SRO, STUDIO, AND EFFICIENCY UNITS) HAVE A SEPARATE DINING AREA.	A-2.01-A-2.03	
3.	NEWLY CONSTRUCTED RESIDENTIAL UNITS MUST HAVE AN EXTERIOR STORAGE CLOSET (INTERIOR COMMON AREA ONLY FOR CONGREGATE) WITH A MINIMUM OF 16 UNOBSTRUCTED SQUARE FEET. THE SQUARE FOOTAGE UTILIZED BY A WATER HEATER IN	A-2.01-A-2.03	
	THE EXTERIOR STORAGE CLOSET MAY NOT BE INCLUDED IN THE 16 SQUARE FOOT CALCULATION. STORAGE CLOSETS MAY NOT HAVE ANY DIMENSION SMALLER THAN 36 INCHES IN WIDTH OR DEPTH.		
4. -	CARPET AND PAD MEETS FHA MINIMUM STANDARDS. "TYPE A" UNIT CARPET SHALL BE GLUE-DOWN TYPE W/O PADDING  KITCHENS, DINING AREAS AND ENTRANCE AREAS HAVE VINYL, VCT OR OTHER NON-CARPET FLOORING.	SPEC 09865-1.05	
5. 6.	NO INTERIOR HALLWAY IN RESIDENTIAL UNITS IS LESS THAN 42".	A-0.04 A-2.01-A-2.03	
7.	FOR NEW CONSTRUCTION, INTERIOR DOORS MUST BE CONSTRUCTED OF TWO, FOUR OR SIX PANEL HARDBOARD, SOLID CORE BIRCH OR SOLID CORE LAUAN. NO HOLLOW CORE, FLAT-PANEL DOORS.	A-0.04,	
8.	INTERIOR DOORS MUST HAVE A MINIMUM OF THREE (3) HINGES.	SPEC 08200-2.01 A-0.04	
9.	NO BI-FOLD, POCKET, LOUVERED OR BY-PASS DOORS.	A-0.04	
10.	RESIDENTIAL FLOORS AND COMMON TENANT WALLS MUST HAVE SOUND INSULATION BATTS.	2&3/A-5.02;	
4.4		2,6&7/A-6.04	
11.	BEDROOM CLOSETS, INTERIOR STORAGE ROOMS, COAT CLOSETS, AND LAUNDRY ROOMS/CLOSETS MUST HAVE A 4" x 8" MIN.  PASS-THRU GRILLE ABOVE DOORS FOR AIR CIRCULATION IN THOSE AREAS THAT DO NOT GET CONDITIONED. CLOSETS OR ROOMS  DEEPER THAN 48" MUST BE SERVED BY HEATING AND COOLING SYSTEMS WITH ITS OWN SUPPLY DIFFUSER.	M-2.01-M-2.03	
12.	ALL INTERIOR DOORS HAVE A MINIMUM ¾" UNDERCUT (AS MEASURED FROM FINISH FLOOR) FOR AIR CIRCULATION.	A-0.04	
13.	ALL INTERIOR & EXTERIOR MECHANICAL & STORAGE CLOSETS HAVE FINISHED FLOOR COVERINGS. INTERIOR CLOSETS HAVE EITHER CARPET, SHEET VINYL OR VCT FLOORING. EXTERIOR STORAGE CLSOSETS MAY HAVE SEALED, PAINTED CONCRETE FLOORS.	A-0.04	
14.	SIGNAGE FOR DESIGNATED COMMON AREAS AND ALL UNITS MUST BE IN BRAILLE AND MEET ANSI A117.1, SECTION 703 STANDARDS.	A-0.04	
	THE FOLLOWING AREAS SHALL HAVE MOISTURE RESISTANT DRYWALL: CEILINGS AND WALLS OF BATHROOMS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR SOTARAGE CLOSETS AND BEHIND KITCHEN SINK BASE.	A-0.04	
15.	ONE SERVICE AND SERVICE SERVIC		
	ONE ELEVATOR MUST BE PROVIDED FOR EVERY 60 UNITS/BUILDING	N/A	
16. 17.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.	N/A	
16. 17. 18.	·	N/A N/A	
16. 17. 18.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE	N/A	
16. 17. 18. 19.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.	N/A N/A A-0.04, 15/A-6.04	
16. 17. 18. 19. 20.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR	N/A N/A A-0.04, 15/A-6.04 A-2.01-A-2.03	
16. 17. 18. 19. 20. 21.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR	N/A N/A A-0.04, 15/A-6.04 A-2.01-A-2.03 M-2.01-M-2.03	
16. 17. 18. 19. 20. 21. 22.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.  EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND	N/A N/A A-0.04, 15/A-6.04 A-2.01-A-2.03 M-2.01-M-2.03 SPEC APPENDIX "D"	
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116. 117. 118. 119. 220. 221. 222. 223.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.  EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND CEILINGS. THIS INCLUDES STORAGE ROOMS, MECHANICAL CLOSETS, ELECTRICAL ROOMS, ELEVATOR ROOMS, ETC.  ALL HVAC MECHANICAL EQUIPMENT AND WATER HEATERS MUST BE INSTALLED IN A DEDICATED MECHANICAL CLOSET WITH A 30" X 80" DOOR. MAY NOT BE INSTALLED IN CLOSETS OR ROOMS USED FOR ANY OTHER PURPOSE.  BUILDING BREEZEWAYS, HALLWAYS OR CORRIDORS MAY NOT HAVE STEPS OR INCLINED WALKING SURFACES OVER 2% RUNNING	N/A N/A A-0.04, 15/A-6.04 A-2.01-A-2.03 M-2.01-M-2.03 SPEC APPENDIX "D" A-1.01-A-1.03 A-0.04	
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116. 117. 118. 119. 220. 221. 222. 223. 224. 225.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.  EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND CEILINGS. THIS INCLUDES STORAGE ROOMS, MECHANICAL CLOSETS, ELECTRICAL ROOMS, ELEVATOR ROOMS, ETC.  ALL HVAC MECHANICAL EQUIPMENT AND WATER HEATERS MUST BE INSTALLED IN A DEDICATED MECHANICAL CLOSET WITH A 30" X 80" DOOR. MAY NOT BE INSTALLED IN CLOSETS OR ROOMS USED FOR ANY OTHER PURPOSE.  BUILDING BREEZEWAYS, HALLWAYS OR CORRIDORS MAY NOT HAVE STEPS OR INCLINED WALKING SURFACES OVER 2% RUNNING	N/A  N/A  A-0.04, 15/A-6.04  A-2.01-A-2.03  M-2.01-M-2.03  SPEC APPENDIX "D"  A-1.01-A-1.03  A-0.04  A-2.01-A-2.03	
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16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. D. 1. 2. 3.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.  EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND CEILINGS. THIS INCLUDES STORAGE ROOMS, MECHANICAL CLOSETS, ELECTRICAL ROOMS, ELEVATOR ROOMS, ETC.  ALL HVAC MECHANICAL EQUIPMENT AND WATER HEATERS MUST BE INSTALLED IN A DEDICATED MECHANICAL CLOSET WITH A 30" X 80" DOOR. MAY NOT BE INSTALLED IN CLOSETS OR ROOMS USED FOR ANY OTHER PURPOSE.  BUILDING BREEZEWAYS, HALLWAYS OR CORRIDORS MAY NOT HAVE STEPS OR INCLINED WALKING SURFACES OVER 2% RUNNING SLOPE OR CROSS SLOPE.  BEDROOMS  PRIMARY BEDROOMS ARE AT LEAST 130 SQ.FT., EXCLUDING CLOSETS.  SECONDARY BEDROOMS ARE AT LEAST 110 SQ.FT., EXCLUDING CLOSETS.  EVERY BEDROOM PROVIDED WITH A CLOSET WITH A SHELF, CLOSET ROD, AND DOOR. THE AVERAGE SIZE OF BEDROOM CLOSETS IS AT LEAST 7 LINEAR FEET.	N/A  N/A  A-0.04, 15/A-6.04  A-2.01-A-2.03  M-2.01-M-2.03  SPEC APPENDIX "D"  A-1.01-A-1.03  A-0.04  A-2.01-A-2.03  A-2.04, A-2.05  A-2.01-A-2.03  A-2.01-A-2.03  A-2.01-A-2.03	
16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. D. 1. 2. 3.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.  EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND CEILINGS. THIS INCLUDES STORAGE ROOMS, MECHANICAL CLOSETS, ELECTRICAL ROOMS, ELEVATOR ROOMS, ETC.  ALL HYAC MECHANICAL EQUIPMENT AND WATER HEATERS MUST BE INSTALLED IN A DEDICATED MECHANICAL CLOSET WITH A 30" x 80" DOOR. MAY NOT BE INSTALLED IN CLOSETS OR ROOMS USED FOR ANY OTHER PURPOSE.  BUILDING BREEZEWAYS, HALLWAYS OR CORRIDORS MAY NOT HAVE STEPS OR INCLINED WALKING SURFACES OVER 2% RUNNING SLOPE OR CROSS SLOPE.  BEDROOMS  PRIMARY BEDROOMS ARE AT LEAST 130 SQ.FT., EXCLUDING CLOSETS.  EVERY BEDROOM PROVIDED WITH A CLOSET WITH A SHELF, CLOSET ROD, AND DOOR. THE AVERAGE SIZE OF BEDROOM CLOSETS	N/A  N/A  A-0.04, 15/A-6.04  A-2.01-A-2.03  M-2.01-M-2.03  SPEC APPENDIX "D"  A-1.01-A-1.03  A-0.04  A-2.01-A-2.03  A-2.04, A-2.05	
16. 17. 18. 19. 20. 21. 22. 23. 24. 25. D. 1. 2. 33. 44.	ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.  ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.  SHOE MOLDING MUST BE INSTALLED IN AREAS WHERE GLUE-DOWN OR LAMINATE FLOORING IS INSTALLED.  IN ALL TYPE A UNITS, A 67" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.  ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.  SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.  ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.  EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND CEILINGS. THIS INCLUDES STORAGE ROOMS, MECHANICAL CLOSETS, ELECTRICAL ROOMS, ELEVATOR ROOMS, ETC.  ALL HVAC MECHANICAL EQUIPMENT AND WATER HEATERS MUST BE INSTALLED IN A DEDICATED MECHANICAL CLOSET WITH A 30" X 80" DOOR. MAY NOT BE INSTALLED IN CLOSETS OR ROOMS USED FOR ANY OTHER PURPOSE.  BUILDING BREEZEWAYS, HALLWAYS OR CORRIDORS MAY NOT HAVE STEPS OR INCLINED WALKING SURFACES OVER 2% RUNNING SLOPE OR CROSS SLOPE.  BEDROOMS  PRIMARY BEDROOMS ARE AT LEAST 130 SQ.FT., EXCLUDING CLOSETS.  SECONDARY BEDROOMS ARE AT LEAST 110 SQ.FT., EXCLUDING CLOSETS.  EVERY BEDROOM PROVIDED WITH A CLOSET WITH A SHELF, CLOSET ROD, AND DOOR. THE AVERAGE SIZE OF BEDROOM CLOSETS IS AT LEAST 7 LINEAR FEET.	N/A  N/A  A-0.04, 15/A-6.04  A-2.01-A-2.03  M-2.01-M-2.03  SPEC APPENDIX "D"  A-1.01-A-1.03  A-0.04  A-2.01-A-2.03  A-2.04, A-2.05  A-2.01-A-2.03  A-2.01-A-2.03  A-2.01-A-2.03	
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	STANDARD	LOCATION	CHECK
	BATHROOMS (CONTINUED)		
	APPROACHES TO ROLL-IN SHOWERS MUST BE LEVEL, NOT SLOPED.	A-0.02, A-2.01-A-2.03	
	ALL DOMESTIC WATER LINE CUT OFF VALVES HAVE METAL HANDLES.	SPEC 15400-2.07H	
	IN ALL TYPE A UNITS, THE GRAB BARS MUST BE INSTALLED PER ANSI A117.1 SPECIFICATIONS AROUND TOILETS AND IN THE TUBS/SHOWERS. IN ROLL-IN SHOWERS THE SHOWER HEAD WITH WAND MUST BE INSTALLED ON A SLIDING BAR AND WITHIN CORE	A-0.02, A-2.01-A-2.03	
	CODE REQUIRED REACH RANGES BY THE SEAT. AN ADDITIONAL DIVERTER MUST BE INSTALLED TO PROVIDE WATER TO A SHOWER HEAD ON THE SHORT SHOWER WALL IN FRONT OF THE SEAT, MOUNTED 80" ABOVE FINISHED FLOOR.		
).	IN TYPE A UNITS, A CALL FOR AID STATION HARD-WIRED TO EXTERIOR HORN/STROBE IS REQUIRED IN ALL BATHROOMS.  OFFSET TOILET FLANGES ARE PROHIBITED.	A-0.02, E-2.01-E-2.03	
L. 2.	WOOD BLOCKING MUST BE INSTALLED FOR BATHROOM ACCESSORIES, INCLUDING TOWEL BARS, TOWEL RINGS, TOILET TISSUE	SPEC 15400-2.09F1 A-2.01-A-2.03	
	HOLDERS, ROBE HOOKS, ETC.  IN TYPE A UNITS, THE 67" CLEAR FLOOR SPACE MAY NOT INCLUDE FLOOR SPACES UNDER TOILETS OR VANITIES.	A-2.01-A-2.03	
	INTITE A UNITS, THE UT CLEAR TEOCK STACE WAT NOT INCLUDE TEOCK STACES ON DER TOLLETS ON VANITIES.	A-2.01-A-2.03	
	KITCHENS		
	NEW CABINETS MUST INCLUDE DUAL SIDE TRACKS ON DRAWERS. DOOR FRONTS, STILES, AND DRAWER FRONTS MUST BE MADE	SPEC 11460-2.01	
	WITH SOLID WOOD OR WOOD/PLASTIC VENEER PRODUCTS. PARTICLE BOARD OR HARDBOARD DOORS, STILES, AND DRAWER FRONTS ARE PROHIBITED.		
	MINIMUM AISLE WIDTH OF 42" BETWEEN CABINETS AND/OR APPLIANCES IN KITCHENS.	A-2.01-A-2.03	
	A PANTRY CABINET OR CLOSET IN OR NEAR EACH KITCHEN MUST BE PROVIDED (DOES NOT INCLUDE SRO, STUDIO OR EFFICIENCY UNITS). PANTRY CABINET OR CLOSET DOOR MUST BE 24" MIN. WIDTH & DEPTH. SHELVING MUST BE 20" DEEP MIN.	A-2.01-A-2.03	
	ALL RESIDENTIAL UNITS MUST HAVE EITHER A DRY CHEMICAL FIRE EXTINGUISHER MOUNTED & READILY VISIBLE & ACCESSIBLE IN EVERY KITCHEN, INCLUDING KITCHEN IN COMMUNITY BUILDING IF PRESENT, AN AUTOMATIC FIRE SUPPRESSION CANISTER	SPEC 10520-2.01 A2.8	
	MOUNTED IN EACH RANGE HOOD, OR HEAT LIMITING DEVICES PERMANENTLY INSTALLED ON RANGES THAT LIMIT BURNERS FROM REACHING TEMPERATURES HIGH ENOUGH TO IGNITE GREASE, CLOTH, OR PLASTIC.		
	RESIDENTIAL KITCHENS HAVE COUNTERTOPS w/ MIN. 8 LF FOR A 1 BEDROOM UNIT, 10 LF FOR A 2 BEDROOM UNIT, 11 LF FOR A 3 BEDROOM UNIT, & 13 LF FOR A 4 BEDROOM UNIT. THIS DIMENSION EXCLUDES SINK & RANGE SPACE, & ONLY INCLUDES	A-2.01-A-2.03	
	COUNTERTOP AT 36" OR BELOW. BAR TOPS MAY NOT BE COUNTED.  ALL RESIDENTIAL UNITS HAVE A FROST-FREE, ENERGY STAR RATED REFRIGERATOR w/ A FREEZER COMPARTMENT. WATER/ICE	A-0.04	
	DISPENSER ROUGH-IN BOXES MUST BE INSTALLED WITH COLD WATER SUPPLY LINE IN THE WALL. IF PROVIDED, WATER/ICE DISPENSER MUST BE CONNECTED AND OPERATIONAL. REFRIGERATOR IN FULLY ACCESSIBLE ("TYPE A") UNITS IS EITHER SIDE BY	A-0.04	
	SIDE OR BOTTOM FREEZER TYPE. REFRIGERATOR DOORS CAN OPEN BEYOND 90 DEGREES FOR BIN REMOVAL. FOR 1 & 2 BEDROOM UNITS, MIN. SIZE 14 CU.FT., 16 CU.FT. MIN. FOR 3 BEDROOM UNIT, & 18 CU.FT. MIN. FOR 4 BEDROOM UNITS.		
	ALL RESIDENTIAL UNITS MUST HAVE AN ENERGY STAR RATED DISHWASHER AND BE INSTALLED BESIDE THE KITCHEN SINK.	A-0.04 & A-2.01-A-2.03	
	ALL RESIDENTIAL UNITS MUST HAVE A MINIMUM 33 INCHES WIDE DOUBLE BOWL KITCHEN SINK.	A-2.01-A-2.03	
_	ALL HANDICAP (TYPE "A") KITCHEN SINKS ARE REAR-DRAINING, AND SINK BOTTOMS ARE INSULATED IF BOTTOM OF SINK IS AT OR BELOW 29" ABOVE FINISHED FLOOR.	P-0.01	
	ALL HANDICAP (TYPE "A") KITCHENS HAVE WORKSTATIONS MUST BE INSTALLED BESIDE THE RANGE WITH NO WALL TO THE LEFT OR RIGHT OF THE WORKSTATION (NO PULL-OUT WORKTOPS.)	A-2.01-A-2.03	
	REMOVABLE FRONTS ARE REQUIRED ON ACCESSIBLE SINK BASE CABINETS AND WORK STATION CABINETS. FLOORS & WALLS UNDER SINK BASE & WORK STATION MUST BE FINISHED. REMOVAL OF DOOR FRONTS MUST BE DONE SO WITH A SCREWDRIVER	A-2.01-A-2.03	
	ONLY. CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED FOR THAT PURPOSE. THE AGENCY WILL NOT ALLOW FIELD ALTERED VANITIES. CUTTING SIDE PANELS, CABINET BOTTOMS OR BACKS & REMOVAL OF PLUMBING PIPES AND/OR		
	ELECTRICAL WIRES WILL NOT BE ALLOWED.  WALL CABINETS ARE LOCATED ABOVE WORKSTATIONS, AND TOP OF BOTTOM SHELF OF WALL CABINETS IS 48" OR LESS.	A-2.01-A-2.03	
	ALL HANDICAP (TYPE "A") KITCHENS BOTH THE RANGE HOOD FAN AND LIGHT HAVE REMOTE SWITCHES.	E-2.01-E-2.03	
	ALL HANDICAP (TYPE "A") PANTRY CABINETS/CLOSETS MUST HAVE 30" x 52" CLEAR FLOOR SPACE CENTERED ON THE DOOR.	A-2.01-A-2.03	
	IN TYPE A UNITS AND COMMON AREAS, KITCHEN RANGES WITH COOKTOP CAN BE NO HIGHER THAN 34" ABOVE FLOOR.	SPEC 11450-3.02	
	ANTI-TIP DEVICES MUST BE INSTALLED ON ALL KITCHEN RANGES AND BE SECURELY FASTENED TO THE FLOOR. WALLS BEHIND OR DIRECTLY BESIDE RANGES MUST BE COVERED WITH A SPLASH PANEL. THE PANEL SHOULD SPAN FROM THE RANGE TO THE HOOD	A-2.01-A-2.03	
	AND BE PLASTIC, LAMINATE OR ALUMINUM. RANGES MUST BE INSTALLED TO FIT FLUSH TO THE WALL. RANGE CORD RECEPTACLES MUST BE RECESSED IN THE WALL BEHIND THE RANGE.		
•	BASE AND SHOE MOLDING MUST BE INSTALLED BEHIND ALL RANGES AND REFRIGERATORS. NO EXPOSED SUBFLOOR SHOULD BE VISIBLE BETWEEN FLOORING PRODUCTS AND SIDES OF CABINETS AND WALLS.	A-0.04	
	ALL KITCHEN CABINET COUNTERTOPS MUST BE INSTALLED 33" MIN 36" MAX. KITCHEN COUNTERTOPS MAY NOT PROTRUDE INTO ENTRANCES OR HALLWAYS.	A-2.01-A-2.03	
	LAUNDRY ROOM CLOSETS		
	IF PROVIDING LAUNDRY HOOKUPS, A LAUNDRY ROOM CLOSET IS REQUIRED WHICH MUST HAVE A 36" MIN. DEPTH MEASURED FROM BACK WALL TO BACK OF CLOSET DOORS, MUST ACCOMMODATE A FULL-SIZED (27"-30") CLOTHES WASHER & DRYER ADJACENT TO EACH OTHER, & CANNOT BE DESIGNED FOR "STACKED" APPLIANCES.	A-2.01-A-2.03	
	DRYER VENT CONNECTION BOX MUST BE GALVANIZED METAL & 2" MAX. A.F.F.	M-01	
	WASHER WATER SHUTOFF VALVES ARE INSTALLED RIGHT SIDE UP WITH THE HOSE CONNECTON BELOW THE SHUTOFF HANDLE.	P-0.01	
	IN TYPE A & TYPE B UNITS, EA. CLOTHES WASHER & DRYER MUST BE CENTERED FOR A SIDE APPROACH ONLY IN A 52" CLEAR FLOOR SPACE (CFS) AREA. THE WASHER & DRYER CFS AREAS MAY OVERLAP. THE CFS AT EA. APPLIANCE MAY NOT USE DOOR	A-2.01-A-2.03	
	OPENINGS OR THE ABILITY TO REMOVE LAUNDRY ROOM/CLOSET DOORS IN ACHIEVING THE REQUIRED PARALLEL APPROACH CFS. ALL ELECTRICAL, PLUMBING, & VENTING ROUGH-INS MUST BE CENTERED BEHIND EA. WASHER & DRYER.		
	LAUNDRY ROUGH-INS OR EQUIPMENT MAY NOT BE INSTALLED IN BEDROOM CLOSETS OR IN NON-DOORED AREAS WITHIN A BATHROOM.	A-2.01-A-2.03	
	PROVISIONS FOR ALL SENIOR HOUSING		
	ALL SENIOR RESIDENTIAL UNITS MUST BE EQUIPPED WITH A HARD-WIRED CALL FOR AID STATION IN ALL BEDROOMS AND FULL BATHROOMS. THE AID STATION MUST BE WIRED TO AN EXTERIOR WARNING DEVICE WHICH CONSISTS OF A HORN/STROBE	N/A	
	LOOP "D" SHAPE HANDLES ON CABINET DOORS AND DRAWERS.	N/A	
	EXHAUST VENTS AND LIGHTING ABOVE RANGES WIRED TO A REMOTE SWITCH NEAR THE RANGE IN AN ACCESSIBLE LOCATION.	N/A	
	PROVIDE SOLID BLOCKING AT ALL TOILETS AND TUB/SHOWER UNITS FOR GRAB BAR INSTALLATION.	N/A	
	MINIMUM 18" GRAB BAR PROVIDED IN ALL TUB/SHOWER UNITS. THE GRAB BAR IS INSTALLED CENTERED VERTICALLY AT 48" AFF ON THE WALL OPPOSITE THE CONTROLS.	N/A	
	CORRIDORS IN COMMON AREAS HAVE A CONTINUOUS HANDRAIL ON BOTH SIDES MOUNTED 34"-38" AFF, & 1.25"-1.5" IN DIAMETER.	N/A	
	ALL DOORS TO HABITABLE AREAS ARE MINIMUM 3'-0" IN WIDTH AND HAVE LEVER HARDWARE.	N/A	
	HALLWAYS ARE A MINIMUM 42" IN WIDTH.	N/A	
	MAXIMUM THRESHOLD HEIGHT AT ANY ENTRY DOOR IS 1/2".	N/A	
	ANY SENIOR BUILDING WITH MORE THAN ONE FLOOR MUST CONTAIN A MINIMUM OF ONE ELEVATOR.	N/A	
	PROVISIONS FOR SIGHT AND HEARING IMPAIRED UNITS ("A/V" UNITS)	A 0 00 1 5 5 5	
	2% OF THE TOTAL UNITS OR A MINIMUM OF ONE UNIT IS PROVIDED WITH "A/V" FEATURES.  "A N/" LINITS POLICIED IN TO ALLOW FOR SMOVE ALARMS WITH STROPE LIGHTS IN EVERY REPROOM. BATHROOM. AND LIVING.	A-0.00, A-0.02	
	"A/V" UNITS ROUGHED IN TO ALLOW FOR SMOKE ALARMS WITH STROBE LIGHTS IN EVERY BEDROOM, BATHROOM, AND LIVING AREA.	A-0.02, E-2.01-E-2.03	
	"A/V" UNITS HAVE A RECEPTACLE NEXT TO PHONE JACKS FOR FUTURE INSTALLATION OF TTY DEVICES.  "A N" LINITS ARE FILLY ACCESSIBLE ("TYPE A") LINITS	A-0.02, E-2.01-E-2.03	
	"A/V" UNITS ARE FULLY ACCESSIBLE ("TYPE A") UNITS.  LIGHTED HARD-WIRED DOORBELL BUTTON CONNECTED TO A HORN/ STROBE ALARM INSTALLED IN EACH BATHROOM, BEDROOM,	A-0.00, A-0.02 A-0.02, E-2.01-E-2.03	
	AND COMMON AREA IS REQUIRED FOR EACH SIGHT AND HEARING-IMPAIRED UNIT.	7. 0.02, L 2.01-L-2.U3	
	MECHANICAL, SITE AND INSULATION PROVISIONS		
	PLUMBING PROVISIONS		
	ALL RENTAL UNITS REQUIRE AT LEAST ONE (1) FULL BATHROOM.	A-2.01-A-2.03	
	THREE & FOUR BEDROOM UNITS REQUIRE AT LEAST 2 BATHROOMS (INCLUDING ONE BATH w/ STEP-IN SHOWER AND ONE BATH w/ FULL TUB).	A-2.03	
	ALL TUBS AND SHOWERS MUST HAVE SLIP RESISTANT FLOORS.	A-0.04	
	FOR NEW CONSTRUCTION PROJECTS, TUBS & SHOWERS MUST BE ONE-PIECE & HAVE A MIN. OUTSIDE DIM. OF 32"W. x 60"L.	P-0.01	
	ALL ELECTRIC WATER HEATERS (WH) MUST HAVE UNIFORM ENERGY FACTOR OF >0.93 OR ENERGY FACTOR OF >0.95 & BE A MIN. OF 40-GAL (50-GAL MIN. FOR 3-BR & LARGER). THIS CANNOT BE ACHIEVED BY USING AN INSULATED WH JACKET. WH MAY NOT	P-0.01	
	BE INSTALLED UNDER HVAC AIR HANDLERS, BUT MAY BE INSTALLED BESIDE THE AIR HANDLER, OR IN SEPARATE CLOSET.	A 2 01 A 2 02 D 2 C	
	IN NEW CONSTRUCTION AND ADAPTIVE RE-USE PROJECTS, ALL WATER HEATER (WH) TANKS MUST BE PLACED IN AN OVERFLOW PAN PIPED TO THE EXTERIOR OF THE BUILDING, REGARDLESS OF LOCATION & FLOOR LEVEL UNLESS A PRIMED P-TRAP IS INSTALLED.	A-2.01-A-2.02, P-0.01	
	WH MUST BE PLACED IN CLOSETS TO ALLOW FOR THEIR REMOVAL & INSPECTION BY OR THROUGH THE CLOSET DOOR, MAY NOT BE INSTALLED OVER THE CLOTHES WASHER OR DRYER SPACE. WH MAY NOT BE INSTALLED IN EXTERIOR STORAGE CLOSETS OR IN	A-2.01-A-2.02, P-0.01	
	UNCONDITIONED SPACES.	A 2 01 A 2 02 E 2 2	
	WH REQUIRED TO BE ELEVATED ABOVE THE FINISHED FLOOR MUST HAVE A WH STAND OR WOOD PLATFORM DESIGNED FOR THAT INSTALLATION AND BE PROFESSIONALLY FINISHED/PAINTED.	A-2.01-A-2.02, P-0.01	
	A FROST-PROOF EXTERIOR FAUCET MUST BE INSTALLED ON AN EXTERIOR WALL OF THE COMMUNITY/OFFICE BUILDING.	P-0.01	
	ALL TUB/SHOWER CONTROL KNOBS ARE SINGLE LEVER HANDLED AND OFFSET TOWARDS THE FRONT OF THE TUB / SHOWER.  PROVIDE LEVER FALICET CONTROLS FOR THE KITCHEN AND BATHROOM SINKS	A-2.01-A-2.03	
	PROVIDE LEVER FAUCET CONTROLS FOR THE KITCHEN AND BATHROOM SINKS.  ALL BATHROOM FAUCETS, SHOWER HEADS, AND TOILETS MUST BE EPA WATERSENSE RATED.	A-2.01-A-2.03 A-2.01-A-2.03	
	,		
	DOMESTIC WATER LINES ARE NOT ALLOWED IN UNCONDITIONED SPACES, INCLUDING BREEZEWAYS & COMMUNITY BUILDING	M-2.U1-A-7 U2	1
	ATTICS.	A-2.01-A-2.03 Δ-2.01-Δ-2.03	
		A-2.01-A-2.03 A-2.01-A-2.03	

	STANDARD	LOCATION	CHECK
A.	PLUMBING PROVISIONS (CONTINUED)		
13.	ALL PLUMBING PIPES MUST BE INSTALLED INSIDE WALL CAVITIES. CONNECTIONS TO WATER AND SEWER LINES MAY NOT BE MADE THROUGH FLOORS OR CABINET BOTTOMS.	P-0.01	
14.	UNIT WATER SHUT-OFF VALVES MUST BE IN A WALL BOX w/ COVER/TRIM LOCATED 16" - 48" ABOVE FLOOR & IN A REACHABLE LOCATION TO THE RESIDENT & BE CLEARLY MARKED w/ SIGNAGE.	P-0.01	
15.	ALL WALL-HUNG SINKS MUST HAVE SOLID BLOCKING BEHIND FIXTURE AND THE FIXTURE MOUNTED TO PLYWOOD RATHER THAN SHEETROCK. WALL HUNG SINKS MAY NOT BE INSTALLED IN RESIDENTIAL UNITS.	N/A	
16.	STEP-IN SHOWERS (32" x 60" MIN.) IN SENIOR PROPERTIES MAY BE INSTALLED IN 50% OF RESIDENTIAL UNITS. FOR FAMILY PROPERTIES, UNITS HAVING TWO FULL BATHROOMS MAY HAVE ONE STEP-IN SHOWER WHILE THE OTHER BATHROOM MUST	P-1.01-P-1.02	
 17.	HAVE A TUB/SHOWER FIXTURE. THE ABOVE GUIDANCE DOES NOT APPLY TO TYPE A UNITS.  ALL BUILDINGS MUST HAVE A MINIMUM OF TWO HOSE BIBS ON A HOUSE METER.	P-1.01-P-1.02	
17.	ALE BOLLDINGS MOST HAVE A MINIMOM OF TWO HOSE BIBS ON A HOSSE METER.	P-1.01-P-1.02	
В.	ELECTRICAL PROVISIONS		
1.	AN OVERHEAD LIGHT, CEILING FAN, TELEPHONE JACK, AND CABLE CONNECTION IS PROVIDED IN EVERY BEDROOM AND LIVING ROOM. IF CEILING FAN HAS A LIGHT KIT, THE FAN AND LIGHT ARE SEPARATELY SWITCHED.	E-2.01-E-2.03	
2.	WALK-IN CLOSETS (DEEPER THAN 36") HAVE SWITCHED, OVERHEAD LIGHTS.	E-2.01-E-2.03	
3.	SWITCHES AND THERMOSTATS LOCATED NO MORE THAN 48" ABOVE FINISHED FLOOR HEIGHT.	A-0.02	
4. -	RECEPTACLES, TELEPHONE JACKS AND CABLE JACKS LOCATED NO LESS THAN 16" ABOVE FINISHED FLOOR HEIGHT.	A-0.02	
5.	SWITCHED EXTERIOR LIGHTING IS REQUIRED AT EA. UNIT ENTRY DOOR FOR RESIDENT USE ON BUILDINGS w/ PORCHES & BREEZEWAYS.	E-2.01-E-2.03	
6.	ADDITIONAL EXTERIOR LIGHT FIXTURES NOT SPECIFIC TO A UNIT MUST BE WIRED TO A "HOUSE" PANEL. THE FIXTURES MUST BE ACTIVATED BY A PHOTO CELL PLACED ON THE EAST OR NORTH SIDE OF THE BUILDINGS.	E-1.01-E-1.03	
7.	ALL EXTERIOR STAIRS HAVE LIGHT FIXTURES WIRED TO BUILDING "HOUSE" PANEL, ACTIVATED BY PHOTO CELL MOUNTED ON EAST OR NORTH SIDE OF BUILDING.	E-1.01-E-1.03	
8.	PROJECTS WITH GAS HEATING AND/OR APPLIANCES MUST PROVIDE A HARD-WIRED CARBON MONOXIDE DETECTOR WITH A BATTERY BACK-UP IN EACH RESIDENTIAL UNIT.	N/A	
9.	RESIDENTIAL AND NON-RESIDENTIAL SPACES HAVE SEPARATE ELECTRICAL SYSTEMS.	E-1.01-E-1.03	
10.	INITIALLY-INSTALLED BULBS IN RESIDENTIAL UNITS AND COMMON AREAS ARE COMPACT FLUORESCENT, LED, OR PIN-BASED IN 80% OF ALL FIXTURES.	E-0.01	
11.	ALL TELEPHONE LINES ARE TONED AND TAGGED PROPERLY TO EACH UNIT.	SPEC 16000-2.12	
12. 13.	ALL EXTERIOR STORAGE CLOSETS MUST HAVE A SWITCHED OVERHEAD LIGHT.  ALL CALL FOR AID DEVICES MUST BE INSTALLED BESIDE OR BELOW CEILING LIGHT SWITCHES IN BEDROOMS AND BATHROOMS.	E-2.01-E-2.03 E-2.01-E-2.03	
13. 14.	EACH BUILDING MUST HAVE A CABLE TERMINATION AND DEMARCATION BOX FOR CABLE VENDOR CONNECTION.	E-2.01-E-2.03	
15.	LIGHT SWITCHES IN BEDROOMS, BATHROOMS & CLOSETS MUST BE INSTALLED WITHIN 16" MAX. FROM LATCH SIDE OF	E-2.01-E-2.03	
	CORRESPONDING DOOR.		
C.	HEATING, VENTILATING AND AIR CONDITIONING PROVISIONS		
1.	ALL NON-RESIDENTIAL AREAS AND RESIDENTIAL UNITS MUST HAVE THEIR OWN SEPARATE HEATING AND AIR CONDITIONING SYSTEMS. HVAC EQUIPMENT MUST HAVE A MINIMUM SEER2 15.0 PERFORMANCE RATING.	M-1.03, M-2.01-M-2.03	
2.	THRU-WALL HVAC UNITS ONLY OCCUR IN STUDIO, EFFICIENCY, AND SRO UNITS; AND IN LAUNDRY ROOMS AND MANAGEMENT OFFICES.	M-2.01-M-2.03	
3.	HVAC INTERIOR AIR HANDLERS MUST BE ENCLOSED FROM RETURN AIR GRILLE TO BLOWER MOTOR/FILTER	M-0.01,M-2.01-M-2.03	
4.	THE USE OF DUCT BOARD IS PROHIBITED. GALVANIZED METAL MUST BE USED FOR PLENUMS AND MIXING BOXES.	M-0.01,M-2.01-M-2.03	
5.	CONNECTIONS IN DUCT SYSTEM SEALED WITH MASTIC AND FIBERGLASS MESH.	M-0.01,M-2.01-M-2.03	
6.	ALL OPENINGS IN DUCT WORK AT REGISTERS AND GRILLES MUST BE COVERED AFTER INSTALLATION TO KEEP OUT DEBRIS DURING CONSTRUCTION.	SPEC 15805-3.05	
7.	FRESH AIR RETURNS LOCATED A MINIMUM OF 12" ABOVE THE FLOOR.	M-0.01	
8. 9.	ELECTRIC MECHANICAL CONDENSATE PUMPS NOT USED.  SUPPLY DUCTS IN UNCONDITIONED ATTICS INSULATED WITH AN R-8 OR GREATER VALUE.	M-0.01 M-0.01	
9. 10.	RANGE HOODS & MICRO-HOODS MUST BE VENTED TO THE EXTERIOR OF THE BUILDING W/8" MIN. GALVANIZED SHEET METAL	M-0.01,M-2.01-M-2.03	
11.	USING THE SHORTEST POSSIBLE RUN.  ALL HUB DRAINS SERVING HVAC CONDENSATE LINES ARE PIPED TO THE OUTSIDE. THERE IS NO PIPING TO THE SANITARY SEWER	M-0.01	
12.	UNLESS A PRIMED P-TRAP IS INSTALLED.  EXTERIOR EXHAUST VENTS MUST BE MECHANICALLY SECURED TO SIDING AND/OR BRICK VENEERS.	M-0.01,M-2.01-M-2.03	
12. 13.	VENTING FOR EXHAUST FANS MAY NOT TERMINATE IN ROOF SOFFITS	M-0.01	
14.	TOTAL DRYER VENT RUN MAY NOT EXCEED 35 FEET, INCLUDING DEDUCTIONS FOR ELBOWS.	M-0.01	
15.	DRYER EXHAUST DUCTS, BATH EXHAUST FANS, AND RANGE HOOD FANS MAY NOT BE VENTED THROUGH THE ROOF.	M-0.01,M-2.01-M-2.03	
16.	CLOTHES WASHER AND DRYER CONNECTIONS MUST BE CENTERED BEHIND THE APPLIANCE.	M-0.01,M-2.01-M-2.03	
17.	ALL UNITS 1,100 SQUARE FEET OR GREATER WHICH USE HEAT PUMPS MUST USE A MINIMUM OF 2-TON EQUIPMENT.	M-0.01,M-2.01-M-2.03	
18.	HVAC SYSTEMS MUST PROVIDE OUTDOOR AIR INTO CONDITIONED BUILDING COMMON AREAS AND APARTMENT UNITS TO MEET ASHRAE 62.2 PER ENERGY STAR MULTIFAMILY CERTIFICATION REQUIREMENTS. THIS MUST BE DONE BY INTRODUCING FRESH AIR INTO RETURN AIR DUCT AT AIR HANDLER. THE FRESH AIR MUST BE FILTERED. THE USE OF ELECTRICAL CONTROL BOXES WITH	M-0.01,M-2.01-M-2.03	
	MECHANICAL DAMPERS THAT LIMITS HUMIDITY AND TEMPERATURE EXTREMES MUST BE USED. FRESH AIR DUCTING MUST USE INSULATED GALVANIZED PIPING.		
D.	BUILDING ENVELOPE AND INSULATION  FRAMING ALLOWS FOR COMPLETE BUILDING INSULATION: INSULATED HEADERS ON ALL EXTERIOR WALLS, ROOF AND CEILING	AF 7 AF 9	
1.	FRAMING ALLOWS FULL DEPTH OF CEILING INSULATION. TO EXTEND OVER TOP PLATE OF EXTERIOR WALLS, MOUT AND CEILING INSULATION TO EXTEND OVER TOP PLATE OF EXTERIOR WALLS, WALL CORNERS AND INTERSECTIONS FRAMED TO ALLOW FOR INSULATION.	A5.7-A5.8	
2.	ALL DOORS, WINDOWS, PLUMBING AND ELECTRICAL PENETRATIONS SEALED TO PREVENT MOISTURE AND AIR LEAKAGE.	SPEC 07200, 07920	
E.	SITEWORK AND LANDSCAPING  ALL DRIVEWAYS, PARKING AREAS, RAMPS, WALKWAYS AND DUMPSTER PADS ARE SLOPED TO PROVIDE POSITIVE DRAINAGE AND	CD #1	
1.	PREVENT STANDING WATER.	CIVIL	
2.	NO SIDEWALKS SHALL EXCEED A 2% CROSS SLOPE REGARDLESS OF WHERE LOCATED. NON-SKID FINISH PROVIDED ON ALL WALKWAYS.	CIVIL	
3.	SIDEWALKS & ACCESSIBLE ROUTES ADJACENT TO ACCESSIBLE PARKING MUST ALLOW FOR A 30" VEHICLE OVERHANG. AN ACCESSIBLE SIDEWALK/ROUTE MUST BE A MIN. 48" WIDE.	CIVIL	
4.	SWITCHBACKS ARE NOT PERMITTED FROM HANDICAP PARKING SPACES OR ACCESS AISLES TO BUILDING ENTRANCE IN NEW CONSTRUCTION PROJECTS.	CIVIL	
5.	ALL WATER FROM ROOF AND GUTTER SYSTEM PIPED AWAY FROM BUILDINGS AND DISCHARGED NO LESS THAN 6' FROM BUILDING FOUNDATION.	CIVIL	
6.	FINAL GRADES DIRECT SURFACE WATER AWAY FROM FOUNDATION WALLS, WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET.	CIVIL	
7.	NO PART OF THE DISTURBED SITE MAY BE LEFT UNCOVERED OR UNSTABILIZED ONCE CONSTRUCTION IS COMPLETE.	CIVIL	_
8.	MINIMUM LANDSCAPING BUDGETS OF \$300 PER RESIDENTIAL UNIT ARE REQUIRED. THIS ALLOWANCE IS FOR PLANTS AND TREES ONLY AND MAY NOT BE USED FOR FINE GRADING, SEEDING AND STRAW OR SOD.	CIVIL	
9.	SITEWORK CHANGES AFTER APPLICATION AWARD ARE NOT PERMITTED WITHOUT AGENCY APPROVAL.	CONTRACT	
10.	ALL NEW CONSTRUCTION AND REHAB PROPERTIES MUST HAVE LIGHTED ENTRY SIGN WITH BRICK OR STONE COLUMNS.	CIVIL	
11.	SITE LIGHTING POLES MUST BE INSTALLED IN LANDSCAPED AREAS INSTEAD OF PARKING SPACES. SITE LIGHTING MUST BE PROVIDED BEHIND BUILDINGS AND NEAR COMMON USE AMENITIES FOR SAFETY.	CIVIL	
12.	PEDESTRIAN AND REQUIRED ACCESSIBLE ROUTES THROUGHOUT THE RESIDENTIAL PROPERTY AND COMMON AREAS MUST BE ON CONCRETE SIDEWALKS.	CIVIL	
13.	MARKED CROSSWALKS MUST BE INSTALLED WHEN CROSSING VEHICULAR DRIVES.	CIVIL	
F.	RADON VENTILATION		
	PASSIVE, "STACK EFFECT" RADON VENTILATION SYSTEMS ARE REQUIRED FOR ALL NEW CONSTRUCTION PROJECTS IN ZONE 1 AND	5/A-5.01	
	2 COUNTIES. THESE SYSTEMS REDUCE SOIL GAS ENTRY INTO THE BUILDINGS BY VENTING THE GASES TO THE OUTDOORS AND	·	
1.	MUST INCLUDE THE FOLLOWING COMPONENTS:  GAS PERMEABLE LAYER OF AGGREGATE: THIS LAYER IS PLACED BENEATH THE SLAB OR FLOORING SYSTEM TO ALLOW THE SOIL	5/A-5.01	
	MUST INCLUDE THE FOLLOWING COMPONENTS:  GAS PERMEABLE LAYER OF AGGREGATE: THIS LAYER IS PLACED BENEATH THE SLAB OR FLOORING SYSTEM TO ALLOW THE SOIL GAS TO MOVE FREELY UNDERNEATH THE HOUSE AND ENTER AN EXHAUST PIPE. IN MANY CASES, THE MATERIAL USED IS A 4-INCH LAYER OF CLEAN GRAVEL.	,	
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A	LOCATION	STANDARD  COMMON AREA AND SITE AMENITY PROVISIONS:	
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2. AND CONTROL AND CONTROL OF THE CO	A-0.03	TOT LOTS AND PLAYGROUNDS (IF PROVIDED) ARE LOCATED AWAY FROM AREAS OF FREQUEN	тс
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### COMMUNITY OF FICE SPACES    A PROPERTY CONTRIBUTION OF THE COMMUNITY OF THE CONTRIBUTION OF THE COMMUNITY OF THE COMMUNI	DE: LETTER	PLAYGROUND SURFACE CONDITIONS AND MATERIALS MUST MEET CERTAIN GUIDELINES AND	PL
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AT LEAST ONE UNIT IN EACH CLASS OF TYPE A UNITS MUST MEET THE ABOVE REQUIREMENTS. UNIT CLASSES ARE MEASURED BY THE NUMBER OF BEDROOMS. THESE UNITS ARE IN ADDITION TO MOBILITY IMPAIRED UNITS REQUIRED BY FEDERAL AND STATE LAW (INCLUDING BUILDING CODES). IF LAWS OR CODES DO NOT REQUIRE MOBILITY IMPAIRED UNITS FOR A PROJECT, A TOTAL OF		HAVE A MINIMUM 67" TURNING RADIUS FOR CLEAR FLOOR SPACE WITHIN THE USABLE KITCH	НА
LAW (INCLUDING BUILDING CODES). IF LAWS OR CODES DO NOT REQUIRE MOBILITY IMPAIRED UNITS FOR A PROJECT, A TOTAL OF	A-2.01-A-2.03		AT
FIVE PERCENT (5%) OF THE UNITS MUST BE TYPE A UNITS WITH TUB/SHOWER BATHING FIXTURES AND AN ADDITIONAL FIVE	JRED BY A-2.01-A-2.03		
PERCENT (5%) WITH ROLL-IN SHOWERS. WHEN CALCULATING THE 5% YOU MUST ROUND UP TO A WHOLE NUMBER. IN CONGREGATE BUILDINGS SERVED BY AN ELEVATOR, THESE UNITS MUST BE ON EACH RESIDENTIAL FLOOR. ALL TYPE A UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.	JRED BY A-2.01-A-2.03 TOTAL OF	THE NUMBER OF BEDROOMS. THESE UNITS ARE IN ADDITION TO MOBILITY IMPAIRED UNITS I LAW (INCLUDING BUILDING CODES). IF LAWS OR CODES DO NOT REQUIRE MOBILITY IMPAIRE	



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# Southview Green / Southview Green / Reahabilitation / 4-54-52 Review Place

REV.	DATE	NOTES
	4-24-25	REVIEW SET

DRAWN BY HJD
JOB # 24-002

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NCHFA DESIGN GUIDELINES

A-0.01

# HC REQUIRED SPECIFICATION

THIS SPECIFICATION IS REQUIRED TO BE FOLLOWED IN ALL BREEZEWAYS. COMMON USE AREAS. AND 5% OF THE TOTAL NUMBER OF UNITS. DUE TO NCHFA REGULATIONS AN ADDITIONAL 5% OF THE TOTAL NUMBER OF UNITS SHALL MEET THESE REQUIREMENTS AND SHALL HAVE ROLL-IN SHOWERS. **GENERAL REQUIREMENTS:** 

- CHANGES IN LEVEL WITHIN THE DWELLING UNIT SHALL BE 1/4" MAX. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAT 1:2. MAX. HEIGHT OF THE THRESHOLD AT THE ENTRY DOOR SHALL BE 1/2" WITH 1:2 SLOPED BEVELS. REFER TO ANSI 4.5.2. FOR FURTHER INFORMATION.
- ALL ENTRANCE DOORS SHALL HAVE LEVER HARDWARE.
- OPERABLE PARTS OF SWITCHES, OUTLETS, AND THERMOSTATS SHALL BE NO HIGHER THAN 48" AND NO LOWER THAN 15" A.F.F. IF THE REACH IS FORWARD OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAX. HEIGHT SHALL BE 44". 46" FOR SIDE REACH OVER AN OBSTRUCTION.
- CLOTHES RODS SHALL BE MOUNTED AT 54" A.F.F.
- ALL DOORS INTO AND THROUGH THE UNIT SHALL BE A MINIMUM OF 2'-10" WIDE (32" CLEAR).
- SMOKE DETECTORS SHALL PROVIDE VISUAL AS WELL AS AUDIBLE ALARM.
- BATHROOM REQUIREMENTS:
- MEDICINE CABINETS SHALL HAVE A USABLE SHELF 44" MAX. A.F.F.
- MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE AT 38" MAX. A.F.F. LAVATORIES SHALL BE MOUNTED WITH THE SINK RIM 34" MAX. A.F.F. AND WITH A CLEARANCE OF 27" MIN. FROM THE FLOOR TO THE BOTTOM OF THE APRON. ALL EXPOSED PIPES AND SINKS SHALL BE INSULATED OR CONFIGURED TO PROTECT AGAINST CONTACT. NO ABRASIVE OR SHARP SURFACES UNDER SINKS.
- AN IN-TUB SEAT SHALL BE PROVIDED AND SHALL COMPLY WITH ANSI 4.21.3. IN WALL BLOCKING FOR GRAB BARS SHALL BE INSTALLED AT TOILETS, TUBS, AND TUB/SHOWERS WHERE
- PROVIDED. • CONTROLS, FAUCETS AND OTHER CONTROLS SHALL COMPLY WITH ANSI 4.25.4. SEE FIGURE 4.21.4.
- A SHOWER SPRAY UNIT SHALL BE PROVIDED WITH A 60" HOSE THAT CAN BE USED AS A FIXED SHOWER OR AS A HAND HELD SHOWER.
- TUB RIM SHALL BE 17" TO 19" A.F.F.
- WATER CLOSETS HEIGHT FROM THE FLOOR TO THE TOP OF THE SEAT SHALL BE 15" TO 19"
- WATER CLOSET FLUSH CONTROL SHALL BE ON OPEN SIDE (AWAY FROM TUB OR WALL). PROVIDE LEVER TYPE HANDLES ON ALL BATH FIXTURES.
- ALL CABINET HANDLES SHALL BE D-LOOP TYPE

# KITCHEN REQUIREMENTS:

CLEAR

- - - - - - - - - -

WIDTH OF TUB

HC BATHTUB

HC LAVATORY

30" x 48"

CLEAR

RANGE

- A BASE CABINET ADJACENT TO RANGE SHALL BE REMOVABLE SUCH THAT A 30" MIN. WIDE WORK COUNTER SHALL BE PROVIDED WITH KNEE SPACE (WORK SPACE). FLOOR FINISH SHALL EXTEND UNDER CABINET TO WALL AND HEIGHT SHALL BE FIXED AT 34" MAX. A.F.F.
- SINK BASE CABINET SHALL BE REMOVABLE SUCH THAT A 30" MIN. WIDE KNEE SPACE IS PROVIDED. SINK SHALL BE MOUNTED AT A FIXED HEIGHT OF 34" TO THE SINK RIM. DEPTH OF A SINK BOWL SHALL BE 6 1/2" MAX. FLOOR FINISH SHALL EXTEND UNDER SINK CABINET TO WALL. WATER SUPPLY PIPES AND DRAIN PIPES UNDER SINK SHALL BE PROTECTED IN ACCORDANCE WITH ANSI 4.20.4.
- UPPER WALL CABINETS ABOVE WORK SPACE SHALL BE MOUNTED 48" FROM FINISH FLOOR TO UPPER SURFACE OF LOWEST SHELF.
- RANGES OR COOKTOPS SHALL COMPLY WITH ANSI 4.33.4.6. CONTROLS SHALL BE LOCATED ON THE FRONT
- OVENS SHALL COMPLY WITH ANSI 4.33.4.7. AND SHALL BE SELF CLEANING. REFRIGERATORS/ FREEZERS SHALL COMPLY WITH ANSI 4.33.4.8.
- REMOTE SWITCHING FOR RANGE HOOD/LIGHT SHALL BE PROVIDED AT WORKSPACE.

TOILET

30" x 48"

KITCHEN SINK

PARALLEL OR PERPENDICULAR ( CLEARANCE FOR OPEN OVEN

**CLEAR** 

CLEAR □

- DISHWASHER SHALL COMPLY WITH ANSI 4.33.49.
- ALL CABINET HANDLES SHALL BE D-LOOP TYPE

THE ABOVE STATED REQUIREMENTS CAN BE MODIFIED IN ACCORDANCE WITH ANSI A-117.7, APPENDIX A, PARAGRAPH A 4.33.2, ADAPTABILITY. THIS IS SUBJECT TO LOCAL, STATE, AND FEDERAL JURISDICTION AND APPROVAL.

# FAIR HOUSING ACT- REQUIRED SPECIFICATION

THIS SPECIFICATION IS REQUIRED TO BE FOLLOWED IN ALL GROUND FLOOR UNITS UNLESS NOTED OTHERWISE. REQUIREMENT 1: ALL BUILDING ENTRANCES SHALL BE ON AN ACCESSIBLE ROUTE UNLESS PROHIBITED BY THE TERRAIN. TERRAIN ANALYSIS MUST BE DONE IN ACCORDANCE WITH THE FAIR HOUSING ACT REQUIREMENT. REQUIREMENT 2: ALL BREEZEWAYS AND OTHER COMMON USE AREAS SHALL MEET THE REQUIREMENTS OF THE ANSI STANDARD.

REQUIREMENT 3: ALL COVERED DWELLINGS WITH AN ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED WITH DOORS INTO AND THROUGH THE UNIT A MIN. OF 2'-10" WIDE (32" CLEAR).

REQUIREMENT 4: CHANGES IN LEVEL WITHIN THE DWELLING UNIT SHALL BE 1/4" MAX. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. MAXIMUM HEIGHT AT THE THRESHOLD AT THE ENTRY DOOR SHALL BE 1/2" WITH 1:2 SLOPED BEVELS. A 4" STEP IS ALLOWED ONLY AT A SECONDARY PATIO DOOR WHERE THE PATIO FLOOR IS IMPERVIOUS MATERIAL. REQUIREMENT 5: OPERABLE PARTS OF SWITCHES, OUTLETS, TELEPHONES, AND THERMOSTATS SHALL BE NO

HIGHER THAN 48" AND NO LOWER THAN 15" A.F.F. IF THE REACH IS FORWARD OVER AN OBSTRUCTION BETWEEN 20 AND 25 INCHES IN DEPTH, THE MAX HEIGHT SHALL BE 44". 46" FOR SIDE REACH OVER AN

REQUIREMENT 6: REINFORCEMENT SHALL BE INSTALLED IN BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS, AT THE TOILET, TUB, SHOWER, AND SHOWER SEAT WHERE SUCH FACILITIES ARE PROVIDED. REQUIREMENT 7: THERE SHALL BE A 30" x 48" CLEAR FLOOR SPACE AT EVERY APPLIANCE AND FIXTURE IN THE KITCHEN AND BATH. THE CLEAR FLOOR SPACE MUST BE POSITIONED EITHER PARALLEL OR PERPENDICULAR TO AND CENTERED ON THE APPLIANCE OR FIXTURE. IF A PARALLEL APPROACH IS NOT POSSIBLE. THE CABINETS AND SINKS MUST BE REMOVABLE TO ALLOW KNEE SPACE.

LOW-FLOW SHOWER HEAD. —

INSTALLED INTEGRAL WOOD

RUBBER GASKET

A-0.02 / 1"=1'-0"

LOW-FLOW SHOWER HEAD. -

INSTALLED INTEGRAL WOOD

18" MIN. GRAB BAR 3"-6" ABOVE

FRONT EDGE OF TUB/SHOWER

HORIZONTAL BAR AND 4" MAX. FROM

OFFSET CONTROLS INCLUDING SPOUT-

/ 1"=1'-0"

TUB/SHOWER \ AT TYPE "A" BATH

33" -36" A.F.F.

A-0.02

60"

56" (\*66" w/ LAV. OVERLAP) x 60"

CLEAR

HC TOILET

HC KITCHEN SINK

30" x 52"

CLEAR

WASHER OR DRYER (N.I.C.)

PROVIDE 2x10 BLOCKING & FACTORY

REINFORCING FOR 24" GRAB BARS @

PROVIDE 2x10 BLOCKING & FACTORY

REINFORCING GRAB BARS @ 33" -36"

REMOVABLE CURB w/ ROLL -OVER -

**ROLL-IN SHOWER** 

10 AT TYPE "A" BATH

# **GENERAL ACCESSIBILITY NOTES:**

ALL UNITS ON THE FIRST FLOOR WILL COMPLY WITH THE FAIR HOUSING ACT (VIA COMPLIANCE WITH ANSI/ICC A117.1-2009). THESE UNITS SHALL AT MINIMUM COMPLY WITH ANSI/ICC A117.1-2009 "TYPE B" STANDARDS [w/ UNIT DESIGNATION (b)] AND SHALL HAVE THE FOLLOWING ACCESSIBILITY/ ADAPTABILITY FEATURES.

- DOORS TO HABITABLE ROOMS SHALL BE 2'-10" MIN. (3'-0" PROVIDED).
- LIGHT SWITCHES, THERMOSTATS & WALL TELEPHONE JACKS SHALL BE MOUNTED AT 44" MAX. A.F.F. TO CENTERLINE. THE UPPERMOST BREAKER OF ELECTRICAL PANEL SHALL BE AT 44" MAX. DUPLEX OUTLETS, STANDARD PHONE AND CABLE JACKS SHALL BE MOUNTED AT 18" MIN. A.F.F. TO
- CENTERLINE BLOCKING AND/OR REINFORCING SHALL BE PROVIDED FOR FUTURE GRAB BARS AND WALL-HUNG
- LAVATORIES.
- PROVIDE BLOCKING, CLIPS & CLEATS FOR LOWERING CLOSET SHELVES. ASSURE SUPPLY & WASTE PIPING ROUGH-INS ALLOW FOR FUTURE HEIGHTS OF PLUMBING FIXTURES.
- PROVIDE MANEUVERING CLEARANCES AT EACH FIXTURE AND APPLIANCE.
- COORDINATE HC AND ACCESSIBLE APARTMENT ALUMINUM LOW PROFILE DOOR SILLS WITH FINISH
- MATERIAL HEIGHTS INSIDE OF ENTRY DOORS. ASSURE DROPS AT THRESHOLDS ARE \( \frac{1}{2} \)" MAXIMUM. THE CENTERLINE OF THE TOILET MUST BE 18" FROM THE ADJACENT WALL SURFACES AND 15" MIN. (16" PREFERRED) FORM ADJACENT FINISHED VANITY EDGE.

DIVERTER VALVE SO THAT EACH SHOWER

HEAD OR BOTH MAY BE USED (DIVERTER

LOW-FLOW SHOWER w/ 60" HOSE & 24"

SLIDE BAR. MOUNT SO THAT THE SHOWER

WAND IS LOWER THAN 47" IN THE LOWEST

- FACTORY INSTALLED REINFORCING &

- 1-PIECE FIBERGLASS ROLL-IN SHOWER

PROVIDE 2x10 BLK. & FACTORY

REINFORCING FOR 24" MIN. GRAB BAR

INSTALLED INTEGRAL WOOD

PROVIDE 2x10 BLK. & FACTORY

INSTALLED INTEGRAL WOOD

33"-36" A.F.F.

REINFORCING FOR 12" GRAB BAR @

- SECURELY MOUNTED TUB SEAT

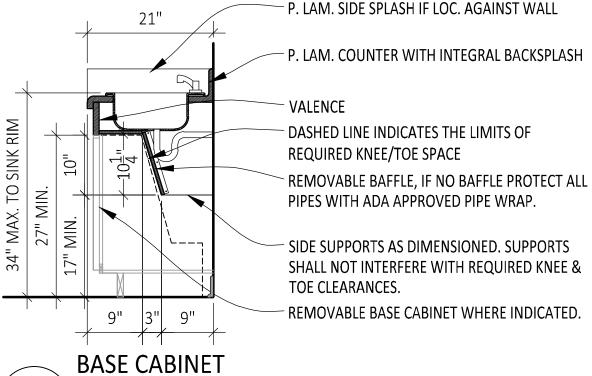
@ 8"-10" ABOVE TUB LIP

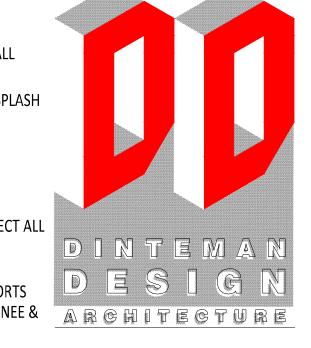
ENCLOSURE 36"D x 60"W INSIDE CLEAR

PERMANENT FOLD-UP SEAT

(FINISHED CLEAR)

CONTROL MAY BE ON WAND)





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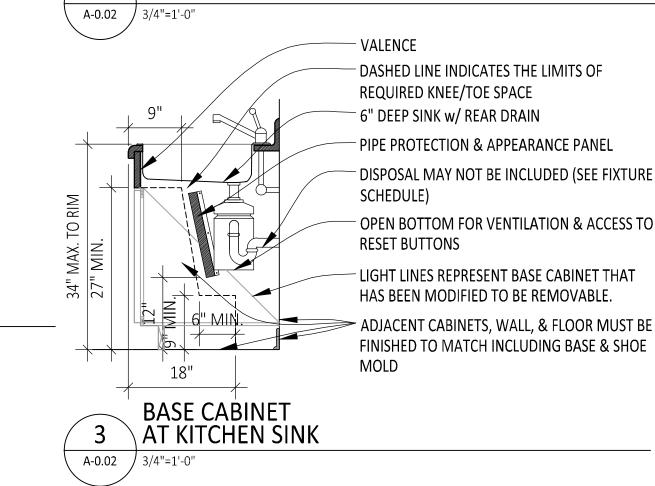
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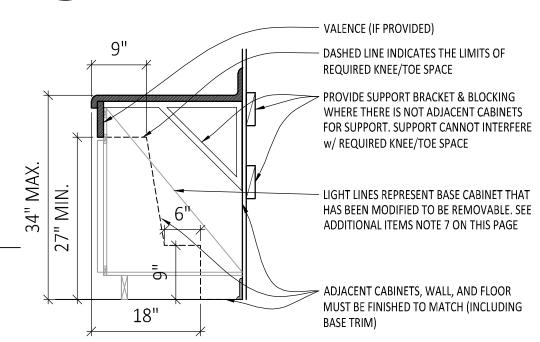
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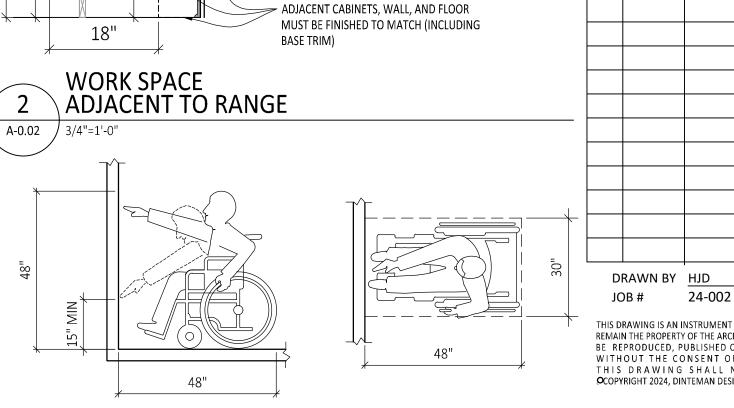
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**AT VANITY SINK** 





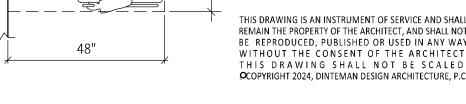
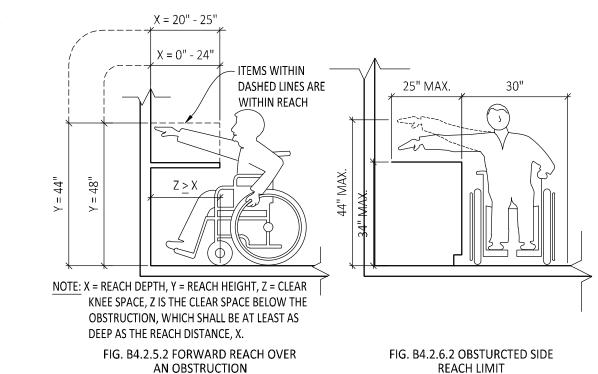


FIG. B4.2.5.1 UNOBSTRUCTED FORWARD REACH LIMIT



REACH LIMIT



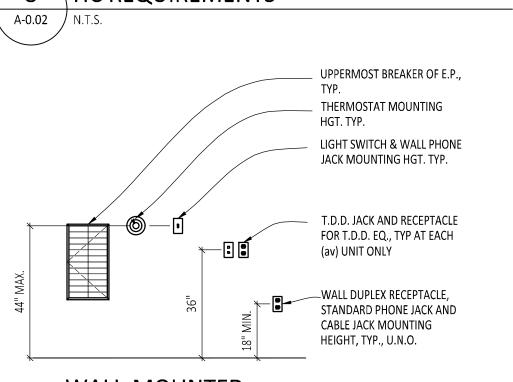
A-0.02

HANDICAPPED NOTES AND DETAILS

NOT RELEASED FOR CONSTRUCTION

- 5/8" - 1" SANS SERIF TACTILE TEXT w/ GRADE 2 BRAILLE 3/8" BELOW PEEPHOLE @ 60" A.F.F NAME SIGN ON LATCH SIDE OF \*:::: DOOR, WITH MINIMUM \_::::: 18"x18" CLEAR FLOOR SPACE CENTERED ON TACTILE CHARACTERS AND BEYOND ARC OF ANY DOOR SWING. (LOCATE ON NEAREST WALL OR OPPOSITE DOOR SIDE IF INADEQUATE WALL SPACE ADJACENT TO DOOR) SECOND PEEPHOLE @ 44" A.F.F. FOR (a), (as) & (as)(av) MINIMUM 18" x 18" CLEAR FLOOR SPACE CENTERED ON RAISED TEXT UNIT & ROOM/SPACE IDENTIFICATION SIGNS **ENTRY DOOR** 8 \ HC REQUIREMENTS **A-0.02** / N.T.S. UPPERMOST BREAKER OF E.P., TO CENTERLINE THERMOSTAT MOUNTING LIGHT SWITCH & WALL PHONE JACK MOUNTING HGT. TYP. T.D.D. JACK AND RECEPTACLE

60" MIN.



WALL-MOUNTED FIXTURE HEIGHTS

A-0.02

CLEAR FLOOR SPACES \( REQUIRED FOR EACH UNIT \)

CLEAR

30" x 48"

CLEAR

REFRIGERATOR

CLEAR

WIDTH OF SHOWER

HC ROLL-IN SHOWER

**A-0.02** / N.T.S.

5 GRAB BARS & REINFORCING

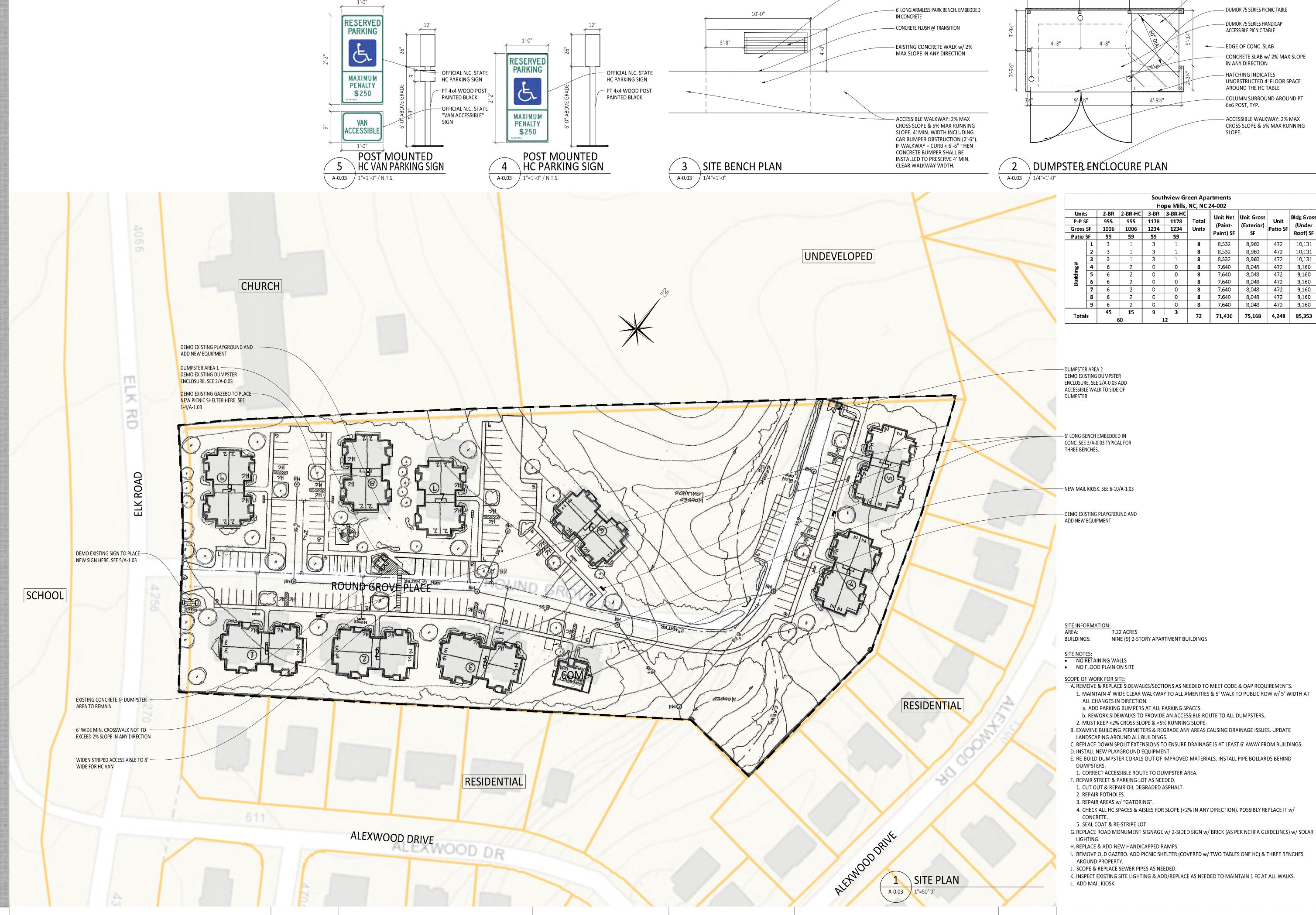
WATER CLOSET

NOTE: 2" TO 4" ADDITIONAL

2x10 REINFORCING AT SIDES

**A-0.02** / N.T.S.

**REACH RANGES** 



NEW CONC. @ BENCH: 2% MAX.

5'-0"

5'-0"

SLOPE IN ANY DIRECTION.

- ACCESSIBLE WALKWAY (w/ U-TURN

ABILITY): 2% MAX. SLOPE IN ANY

DIRECTION.

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SITE PLAN

**NO PARKING** 

**ANYTIME** 

VEHICLES WILL BE

TOWED AT OWNER'S

DUMPSTER GATE MOUNTED NO PARKING SIGN

EXPENSE

A-0.04

PLAYGROUND

Hours: 9 AM to 9 PM

16"

**PLAYGROUND RULES SIGN** 

FENCE MOUNTED

STOP

POST MOUNTED STOP SIGN

A-0.04 / 1"=1'-0"

A-0.04 / 1"=1'-0"

**SPEED** 

POST MOUNTED

3 \ SPEED LIMIT SIGN

A-0.04 / 1"=1'-0"

-INTERCHANGABLE

SIGN AREA TO

CHANGE HOURS

TRASH RULES:

• Household garbage only.

No large items permitted.

VIOLATORS WILL BE

SUBJECTED TO FINE.

FENCE MOUNTED

WALL MOUNTED

1 \BUILDING # SIGN

— USE ACTUAL BUILDING #

6 TRASH RULES SIGN

A-0.04 \( \) 1"=1'-0"

A-0.04 / 1"=1'-0"

PICNIC AREA RESIDENT USE ONLY 20" POST MOUNTED 5 \ PICNIC AREA SIGN

A-0.04 / 1"=1'-0"

GENERAL INTERIOR SIGNAGE NOTES: . ALL INTERIOR SIGNAGE TO BE EQUAL TO MOHAWK SERIES 200A. COLORS AS SELECTED BY ARCHITECT. (EXTERIOR SIMILAR WHERE INDICATED).

2. LETTERING ON SIGNAGE TO BE HELVETICA BOLD. 3. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH- TO-HEIGHT RATIO

BETWEEN 3:5 AND 1:1 AND A STROKE -WIDTH -TO -HEIGHT RATIO BETWEEN 1:5 AND 1:10.

4. LETTERS AND NUMBERS SHALL BE RAISED 1/32", UPPERCASE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE.

5. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH BUT NO HIGHER THAN 2". 6. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE OR OTHER NON GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND.

7. WALL MOUNTED SIGNAGE SHALL BE AFFIXED WITH SILASTIC ADHESIVE; VINYL FOAM TAPE MAY BE USED AS A TEMPORARY POSITIONING ADHESIVE. 8. SIGN TO BE MOUNTED 2" FROM THE DOOR FRAME ON THE LATCH SIDE

**UNIT NOTES** 

CLOSETS AND HALLWAYS SHALL HAVE THE SAME FINISHES AS ROOM UNLESS NOTED OTHERWISE (UNO).

DOORS SHALL BE CENTERED OR SHALL HAVE A 4" HINGE-SIDE JAMB UNO.

BLOCKING AT FIBERGLASS TUB/SHOWER & ROLL-IN SHOWER ENCLOSURES SHALL BE PROVIDED BY FACTORY INSTALLED INTEGRAL WOOD REINFORCING AND 2x10 IN-WALL BLOCKING AS PER NCHFA REGULATION. FOR ALL UNITS GRAB-BARS & 2x10 GRAB-BAR BLOCKING/REINFORCING IS ONLY REQUIRED AT ALL 1st FLOOR UNITS. GRAB-BAR BLOCKING IS NOT REQUIRED FOR 2nd FLOOR UNITS.

2x6 MIN. IN-WALL STUD-TO-STUD BLOCKING SHALL BE PROVIDED FOR ALL WALL-HUNG ITEMS INCLUDING BUT NOT LIMITED TO: CABINETS, COUNTERS, SINKS, TOWEL BARS, TISSUE DISPENSERS, & OTHER ITEMS. BASE TRIM AND SHOE-MOULD REQUIRED BEHIND FRIDGE AND RANGE. DIMENSIONS ON INTERIOR ELEVATIONS REPRESENT FINISHED DIMENSIONS. ALL FIXTURES, OUTLETS, & OTHER ITEMS SHALL BE COORDINATED

WITH THESE DIMENSIONS IN LIEU OF WHAT IS SHOWN ON THE PLANS. DIMENSIONS ON UNIT PLANS REPRESENT ROUGH FRAMING DIMENSIONS OR TO FACE OF BRICK.

DIMENSIONS WITH AN OBLIQUE MARK REPRESENT FACE DIMENSIONS; WHILE DIMENSIONS WITH AN OPEN CIRCLE REPRESENT CENTERLINE DIMENSIONS.

CABINET SHOP DRAWINGS SHALL BE PROVIDED FOR ALL CABINETRY AND DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION.

SEE SHEET A-0.02 FOR ADDITIONAL HC NOTES & DETAILS.

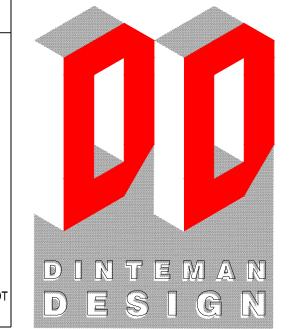
WC FLUSH HANDLE SHALL BE TOWARD OPEN SIDE (AWAY FROM WALL OR TUB).

FOR MATERIAL TRANSITION BETWEEN ROOMS: THE TRANSITION STRIP SHALL BE CENTERED BELOW THE DOOR LEAF. ATTENTION SHALL BE GIVEN TO THE SWING OF THE DOOR TO VERIFY PLACEMENT AS THE LEAF IS NOT CENTERED IN THE DOORWAY OPENING.

				INTERIOR FINIS	H SCHEDULE	
	SPACE	BASE	FLOOR	WALL	CEILING	REMARKS
	LIVING/DINING KITCHEN	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & $\frac{1}{4}$ ROUND. $\frac{1}{4}$ " ROUND @ CABINETS & FACE OF TUB	LVP	PRIMED & PAINTED GYP-BD. FLAT (SEMI-GLOSS @ KITCH. BACKSPLASH)	PRIMED & PAINTED GYP-BD. FLAT	USE MOISTURE RESISTANT GYP-BD. w/in 48" OF KITCHEN SINK. ALSO MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY. SAME FINISHES INSIDE OF ADJ. CLOSETS.
ITS	BEDROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP	CARPET & PAD	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES IN BEDROOM CLOSET. GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
APARTMENT UNITS	HC UNIT BEDROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP, <sup>1</sup> / <sub>4</sub> ROUND OPTIONAL	GLUE DOWN LOW PILE CARPET	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES IN BEDROOM CLOSET. GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
APA	BATH  3-1/4" FINGER-JOINTED WOOD  w/ ROUNDED TOP & \frac{1}{4} ROUND		LVP	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	USE QUARTER ROUND TRIM @ TUB. GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
	MECHANICAL CLOSET	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & \frac{1}{4} ROUND	VCT	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
	MULTI-PURPOSE ROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & $\frac{1}{4}$ ROUND	LVP	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES INSIDE OF ADJACENT CLOSETS.
97	BREAK AREA	3-1/4" FINGER-JOINTED WOOD W/ ROUNDED TOP & $\frac{1}{4}$ ROUND @ CABINETS	LVP	PRIMED & PAINTED GYP-BD. FLAT (SEMI-GLOSS @ BREAK ROOM BACKSPLASH)	PRIMED & PAINTED GYP-BD. FLAT	USE MOISTURE RESISTANT GYP-BOARD w/in 48" OF BREAK ROOM SINK. SAME FINISHES INSIDE OF ADJACENT CLOSETS.
COMMUNITY BUILDING	LEASING OFFICE	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP $\&\frac{1}{4}$ ROUND	LVP	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES INSIDE OF ADJACENT CLOSETS.
INOMMO	MAINTENANCE	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP	SEALED CONCRETE	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	
Ō	UNISEX RESTROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & $\frac{1}{4}$ ROUND	VCT	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	
	LAUNDRY CENTER	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP $\&\frac{1}{4}$ ROUND	VCT	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
APT. BLDG.	UNDER STAIR CLOSET	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP	SEALED CONCRETE	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	

HARDWARE SCHEDULE											
ITEM	LOCATION	MODEL	MANUFACTURER	REMARKS							
MEDICINE CABINET	UNIT BATH	VISTA #9400	AMERICAN PRIDE	16" x 20" MIRROR, HIGH IMPACT POLYSTYRENE RECESSED CABINET w/ TWO FIXED SHELVES, TWO G40 GALVANIZED SPLIT BUTT 2.5" HINGES, MAGNETIC LATCH, ROUGH OPENING 14" x 18".							
SHOWER CURTAIN ROD	UNIT BATH	ROD #51470 FLANGES #53370	HARNEY	POLISHED STAINLESS STEEL FINISH, ADJUSTABLE FLANGES, 60" LONG x 1" DIA. x 24 GAUGE. 80" A.F.F.							
24" TOWEL BAR SET	UNIT BATH	SEA BREEZE #12051	HARNEY	SATIN NICKEL FINISH, $2\frac{15}{16}$ D x $24\frac{7}{8}$ W x $2\frac{1}{4}$ H. ATTACH TO 2x6 IN-WALL BLOCKING 44 A.F.F. @ 1st, 54 A.F.F. @ 2nd.							
TOILET TISSUE HOLDER	UNIT BATH	SEA BREEZE #12032	HARNEY	SATIN NICKEL FINISH, $2\frac{15}{16}$ D x $24\frac{7}{8}$ W x $2\frac{1}{4}$ " H. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE AS PER INTERIOR ELEVATIONS.							
18" GRAB BAR	UNIT BATH	COMMERCIAL #71761	HARNEY	$1\frac{1}{2}$ " DIAMETER, 304 STAINLESS STEEL, CONCEALED STAINLESS STEEL SCREWS. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE A PER INTERIOR ELEVATIONS.							
36" GRAB BAR	UNIT BATH	COMMERCIAL #71765	HARNEY	$1\frac{1}{2}$ " DIAMETER, 304 STAINLESS STEEL, CONCEALED STAINLESS STEEL SCREWS. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE A PER INTERIOR ELEVATIONS.							
42" GRAB BAR	UNIT BATH	COMMERCIAL #71766	HARNEY	$1\frac{1}{2}$ " DIAMETER, 304 STAINLESS STEEL, CONCEALED STAINLESS STEEL SCREWS. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE A PER INTERIOR ELEVATIONS.							
MIRROR	UNIT BATH	B165	BOBRICK	TYPE 430 POLISHED STAINLESS STEEL FRAME $\frac{1}{4}$ ", SIZE AS PER INTERIOR ELEVATIONS.							
TUB SEAT	UNIT BATH	WBETES290150PW	WINGIT INNOVATIONS	SEAT WITH 1" SQUARE 18GA. S/S FRAME AND 1" ROUND CROSS MEMBERS. SEAT SHALL BE SECURELY MOUNT							

				1	APPLIANCE SCHEDULE
APPLIANCE	SIZE	BRAND	MODEL#	COLOR	REMARKS
DISHWASHER	33- <sup>3</sup> " H x 23- <sup>3</sup> " W x 24" D	GE	GDT535PGRWW	WHITE	BUILT-IN, ENERGY STAR RATED
HC DISHWASHER	32-½" H x 23-¾" W x 23-½" D	GE	GDT226SSLSS	STAINLESS STEEL	BUILT-IN, ENERGY STAR RATED, ADA COMPLIANT, INSTALLS UNDER 34" COUNTER, CAFE BAR HANDLE
RANGE	41" H x 23 <sup>7</sup> / <sub>8</sub> " W x 28" D	GE	GRS600AVWW	WHITE	SLIDE-IN, SELF CLEANING, ANTI-TIP DEVICE SECURED TO FLOOR & WALL.
HC RANGE	27" H x 31- <sup>1</sup> / <sub>4</sub> " W x 28- <sup>1</sup> / <sub>2</sub> " D	GE	JAS640RMSS	STAINLESS STEEL/GRAY	DROP-IN, SELF CLEANING, ADA COMPLIANT, ANTI-TIP DEVICE SECURED TO FLOOR & WALL.
RANGE HOOD	5-½" H x 29-½" W x 20" D	GE	JVX5305DJWW	WHITE	ENERGY STAR RATED, VENT TO EXTERIOR.
HC RANGE HOOD	5½" H x 23½" W x 20" D	GE	JVX5305SJSS	STAINLESS STEEL	ENERGY STAR RATED, ADA COMPLIANT, VENT TO EXTERIOR, WIRE FOR REMOTE SWITCHING OF FAN & LIGHT FOR HC UNITS.
1-BR & 2-BR REFRIGERATOR	61- <sup>3</sup> / <sub>4</sub> " H x 28" W x 32- <sup>5</sup> / <sub>8</sub> " D	GE	GTE16DTNRWW	WHITE	15.6 CU.FT. ENERGY STAR RATED, w/ ICE TRAYS, DOOR HINGE POSITIONED SO THAT DOOR CAN OPEN 180°.
3-BR REFRIGERATOR	64- <sup>3</sup> / <sub>4</sub> " H x 28" W x 32- <sup>5</sup> / <sub>8</sub> " D	GE	GTE17DTNRWW	WHITE	16.6 CU.FT. ENERGY STAR RATED, w/ ICE TRAYS, DOOR HINGE POSITIONED SO THAT DOOR CAN OPEN 180°.
IC & COM. BLDG. REFRIGERATOR	69- <sup>7</sup> / <sub>8</sub> " H x 35- <sup>3</sup> / <sub>4</sub> " W x 35- <sup>7</sup> / <sub>8</sub> " D	GE	GFE26JYMFS	FINGERPRINT RESISTANT STAINLESS	25.7 CU. FT. FINGERPRINT RESISTANT FRENCH-DOOR REFRIGERATOR, ENERGY STAR RATED, ADA COMPLIANT, w/ ICE MAKER, DOORS HINGE POSITIONED SO THAT DOORS CAN OPEN 180°.



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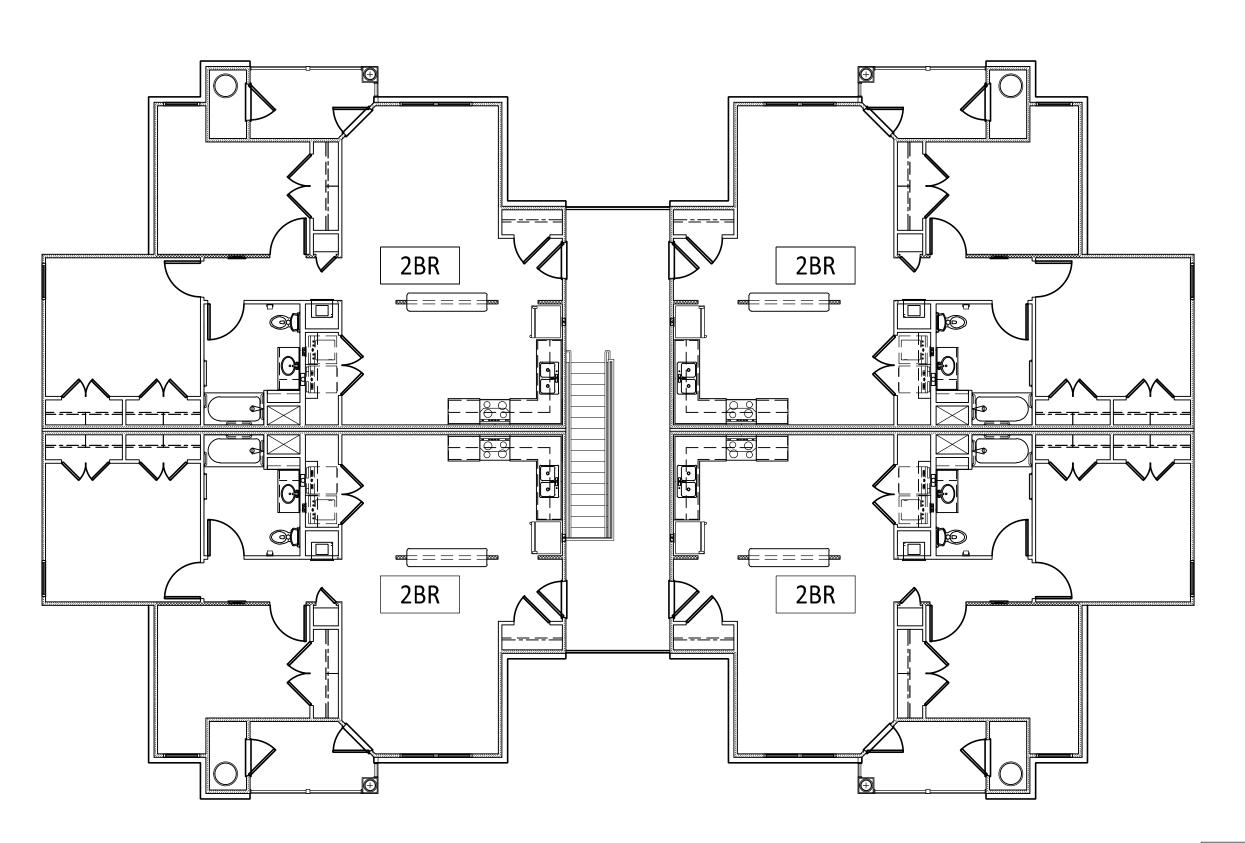
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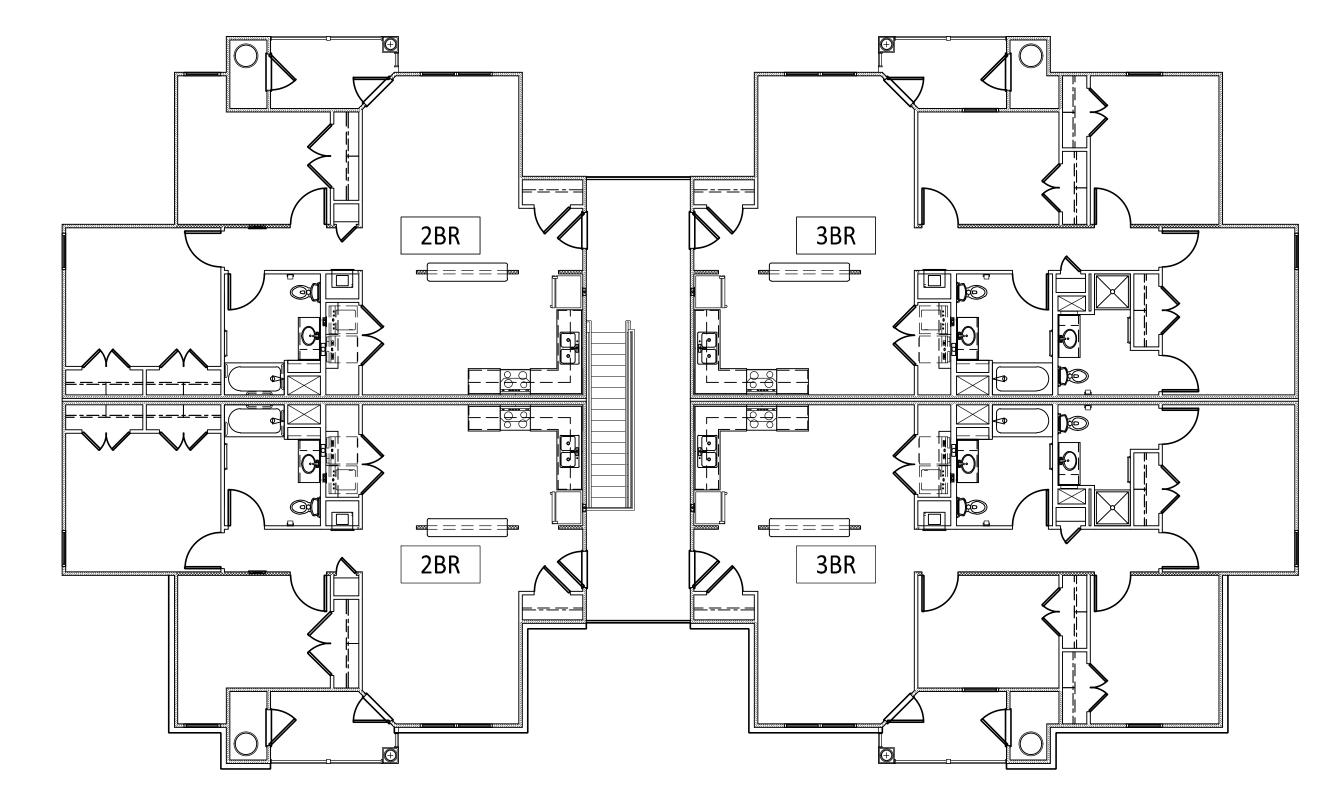
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NOTES SCHEDULES AND SIGNAGE

A-0.04





2nd FLOOR BLDG. #s 4, 5, 6, 7, 8, & 9

SCOPE OF WORK FOR APARTMENT BUILDING COMMON AREAS: A. INSPECT ALL ATTIC INSULATION FOR WATER INFILTRATION &

REPLACE AS NEEDED TO MAINTAIN R-30 INSULATION.

B. REPLACE ALL ATTIC ACCESS HATCHES WITH LOCKABLE, FIRE-RATED ATTIC ACCESS HATCHES.

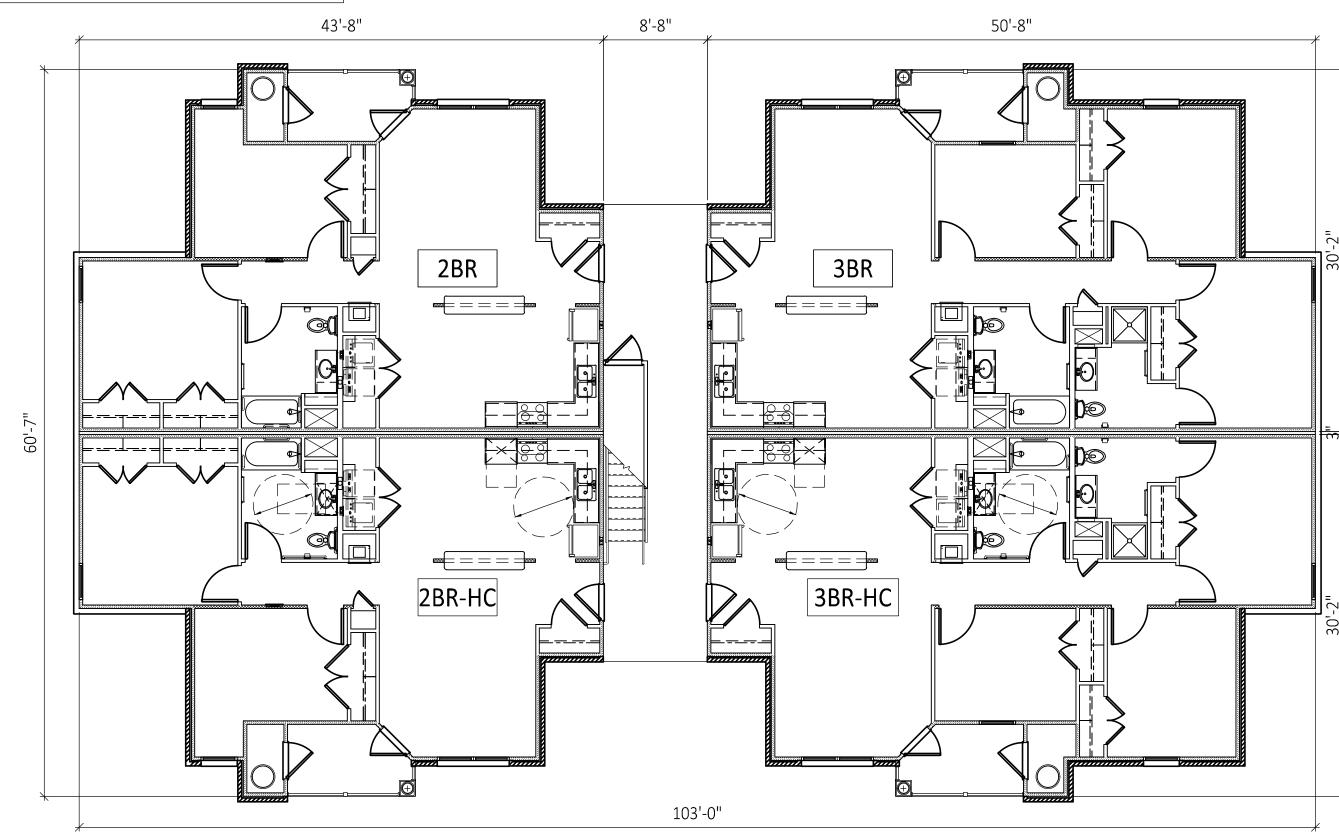
C. INSPECT ALL DRAFT-STOPS IN ATTIC FOR DAMAGE & REPAIR AS NEEDED.

D. REMOVE ALL MAILBOXES FROM BREEZEWAYS.

E. PLACE ALL FIRE EXTINGUISHERS IN BREEZEWAYS OUT OF THE

PATH OF TRAVEL & DETECTABLE AS A PROTRUDING OBJECT.

43'-8" 8'-8" 43'-8" 96'-0"



1st FLOOR BLDG. 3 #s 4, 5, 6, 7, 8, & 9 A-1.01 / 1/8"=1'-0"

1st FLOOR 1 BLDG. #s 1, 2 & 3 A-1.01 / 1/8"=1'-0"

2nd FLOOR BLDG. #s 1, 2 & 3



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# Southview

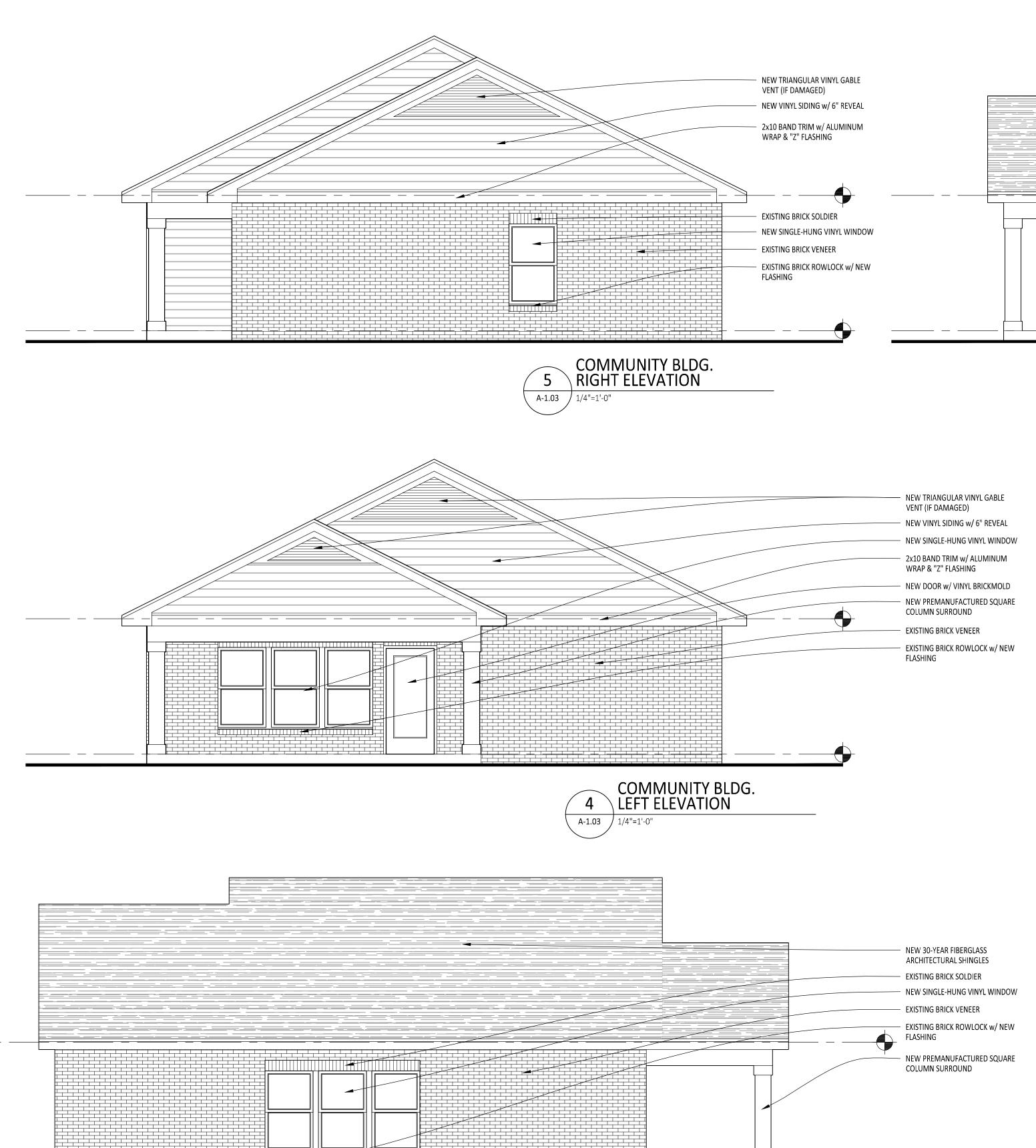
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JOB # 24-002

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**BUILDING PLANS** 

A-1.01



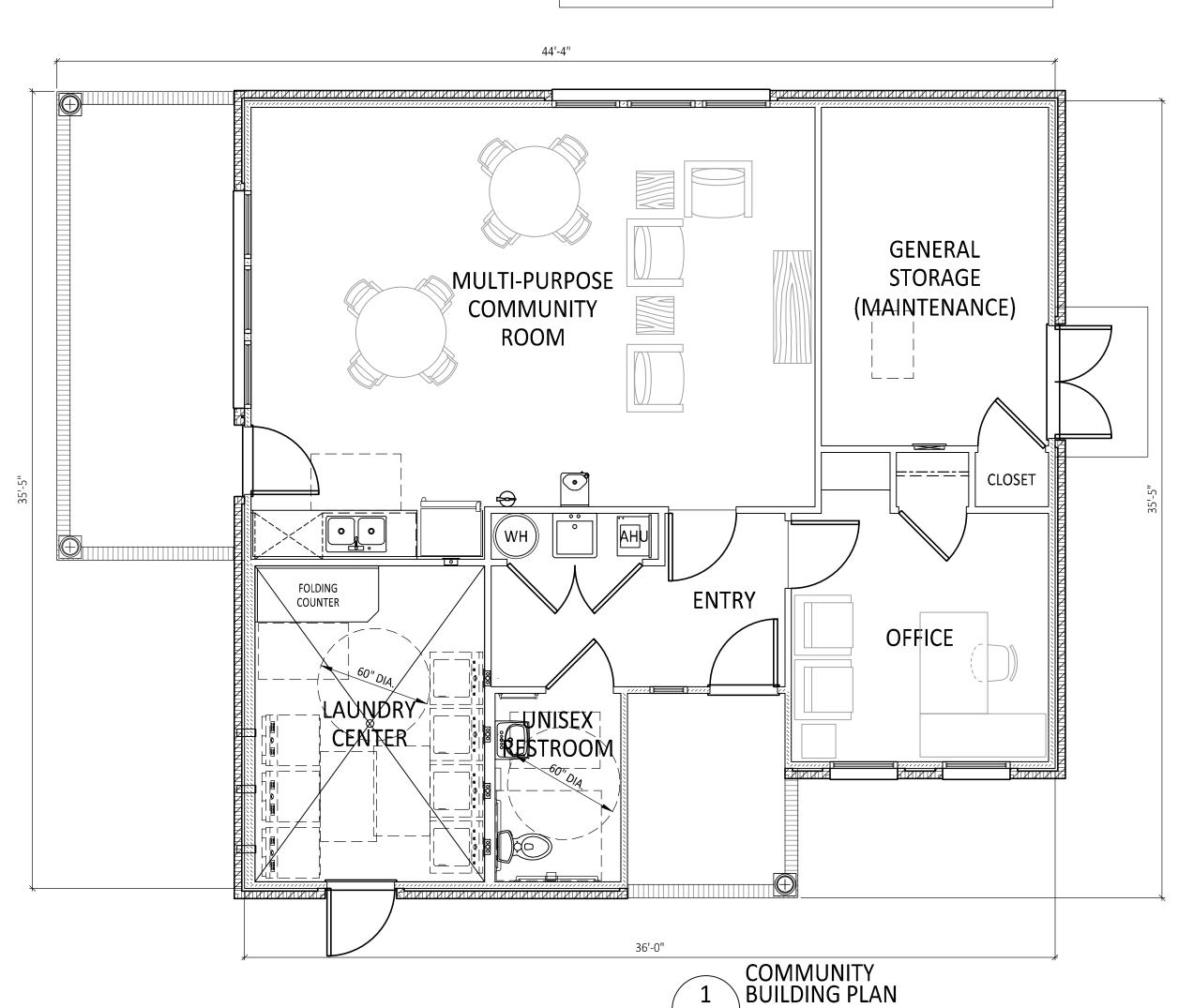
COMMUNITY BLDG. REAR ELEVATION

A-1.03  $\int 1/4''=1'-0''$ 



COMMUNITY BLDG. FRONT ELEVATION A-1.03 / 1/4"=1'-0"

SCOPE OF WORK FOR COMMUNITY BUILDING: A. REPLACE ALL APPLIANCES IN COMMUNITY LAUNDRY ROOM. B. REPLACE FLOORING IN COMMUNITY LAUNDRY ROOM. C. REPLACE CABINETS, FURNITURE, FIXTURES, AND APPLIANCES IN COMMUNITY ROOM.



A-1.03 / 1/4"=1'-0"

1085 SQ. FT. NET

Southview REV. DATE 4-24-25 REVIEW SET 28348

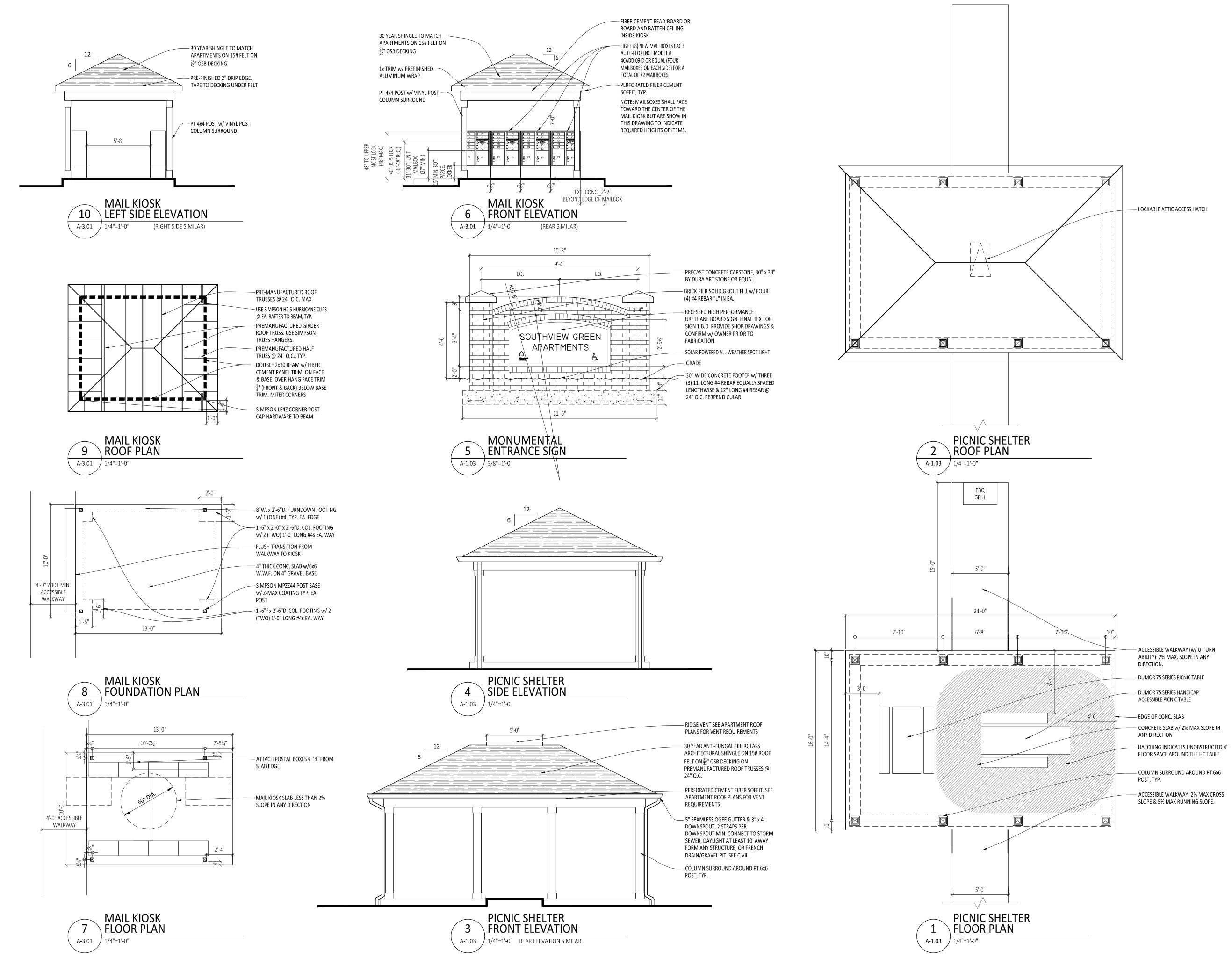
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COMMUNITY BUILDING

A-1.02





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3143 Round Grove Place
Hope Mills, North Carolina 28348

REV. DATE NOTES

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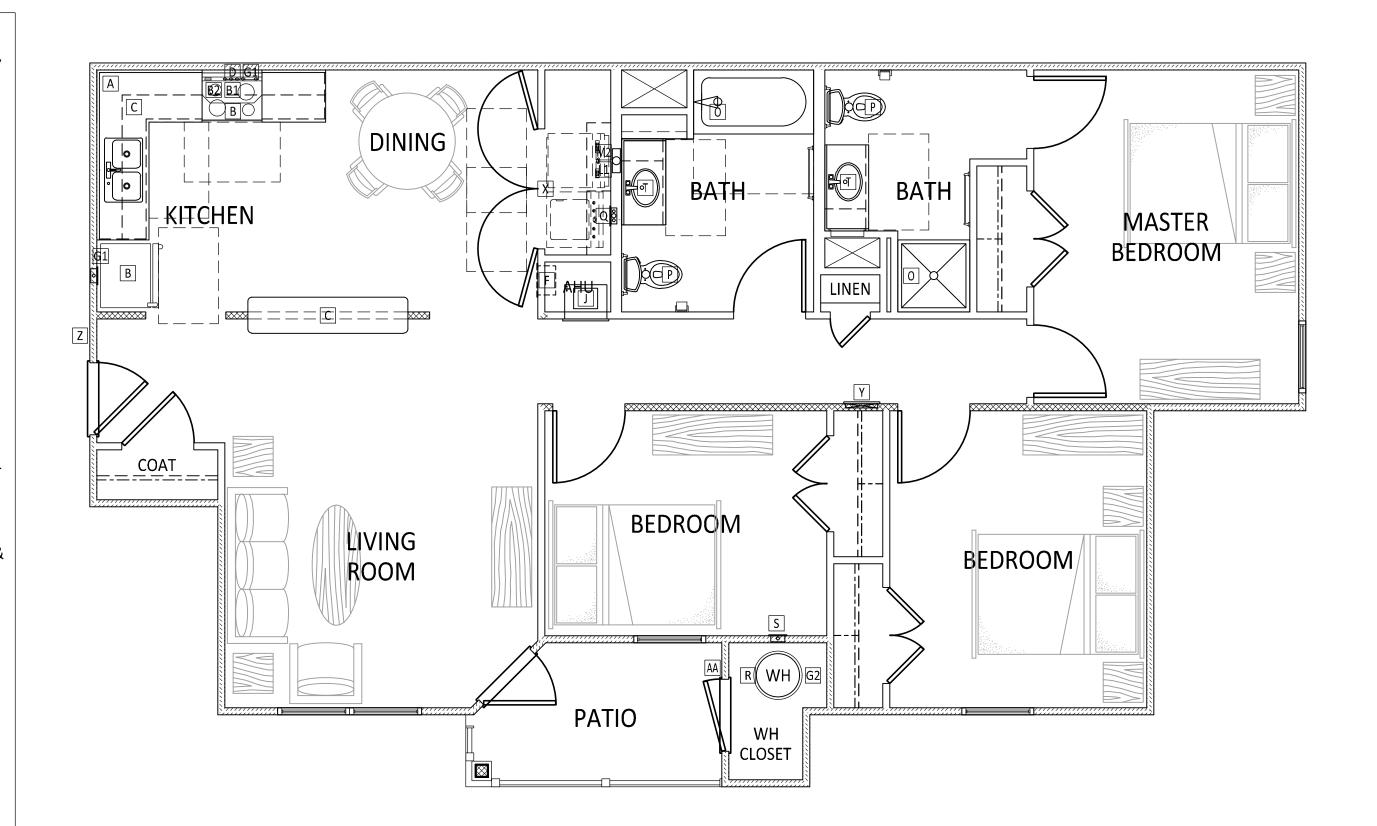
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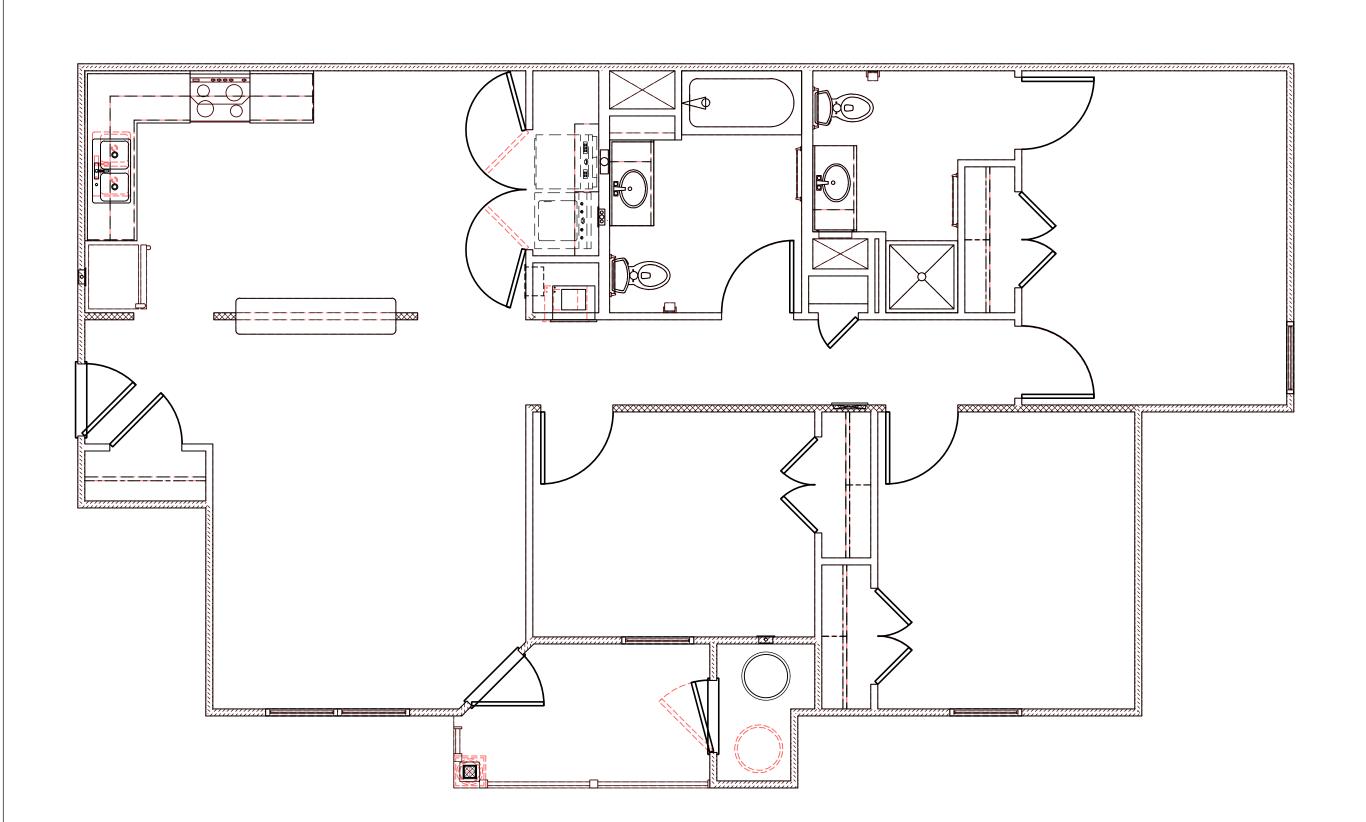
SITE AMENITIES

A-1.03

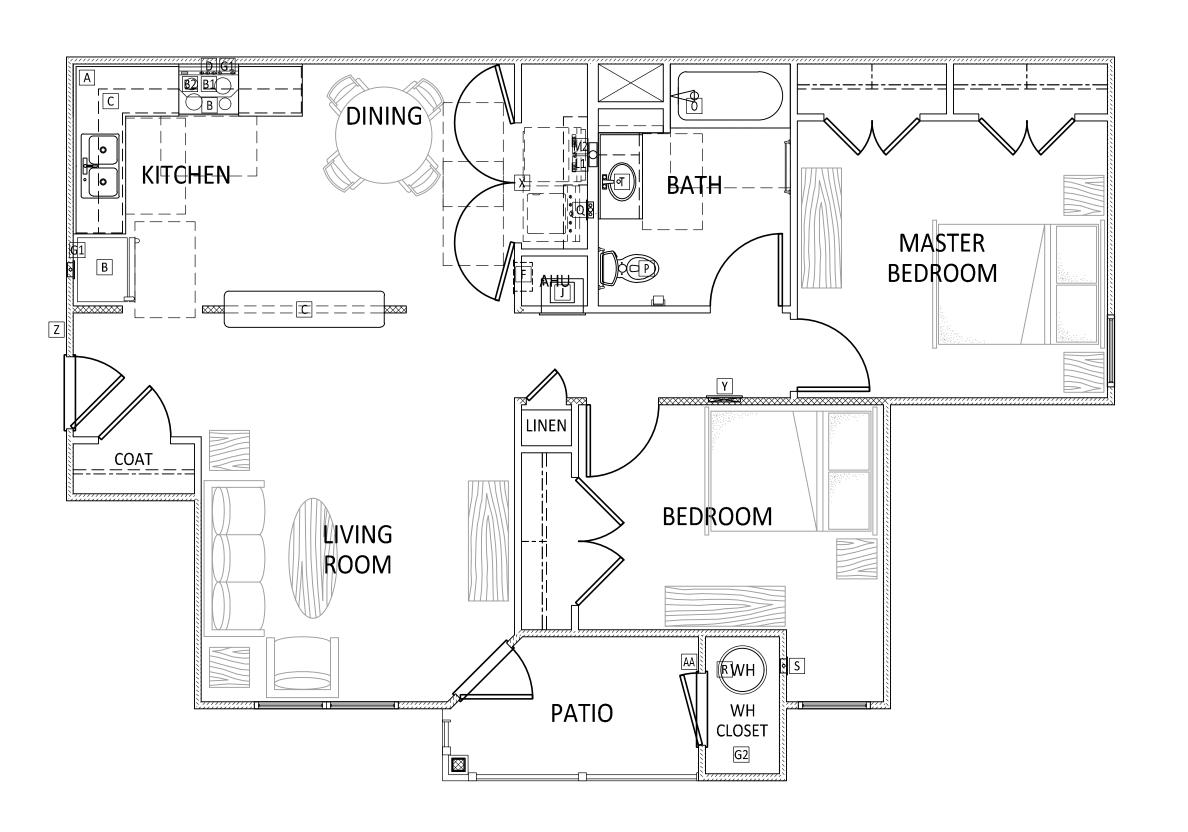
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- 2. ADD ANTI-TIP DEVICE TO RANGE SECURED TO WALL &
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- D. REPLACE SPLASH GUARDS BEHIND RANGE AS PER MATRIX -APPROXIMATELY 60 UNITS.
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- F. ADD HARDWIRED DEHUMIDIFIER w/ HARD PIPED CONDENSATE TO ALL GROUND FLOOR MECH CLOSETS THAT
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- 1. ENCLOSE AIR RETURNS.
- 2. NEW TOP DISTRIBUTION COLLARS.
- K. REPLACE ALL CONDENSERS, NEW REFRIGERANT AND PROPERLY SIZED SUPPLY LINES PER MATRIX -APPROXIMATELY 75 UNITS
- L. EXAMINE & CLEAN ALL DRYER LINES TO ENSURE THAT THEY ARE HARD DUCTED TO THE EXTERIOR.
- 1. LOWER DRYER VENT HOOKUP TO BE JUST ABOVE (ON) THE BOTTOM PLATE.
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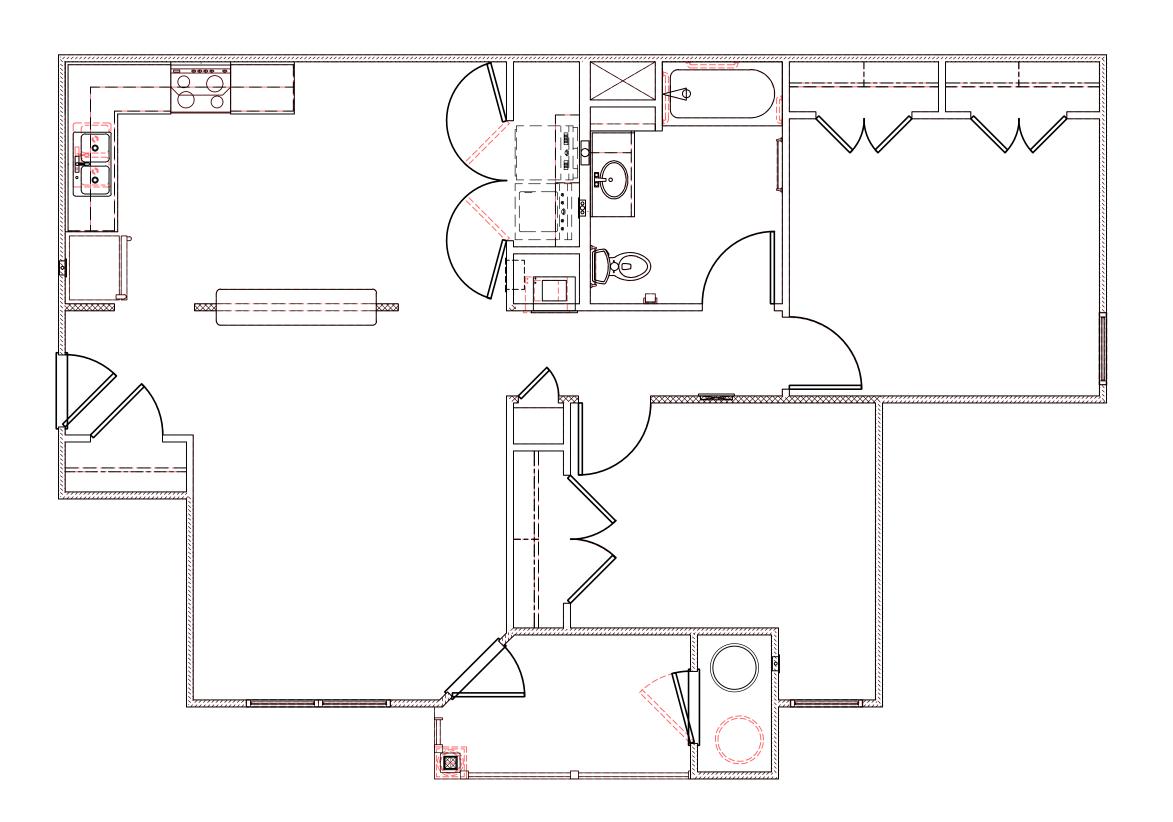




DEMO FOR 2BR

**A-2.01** / 1/4"=1'-0" 955 SQ. FT. NET

\ UNIT FLOOR PLAN



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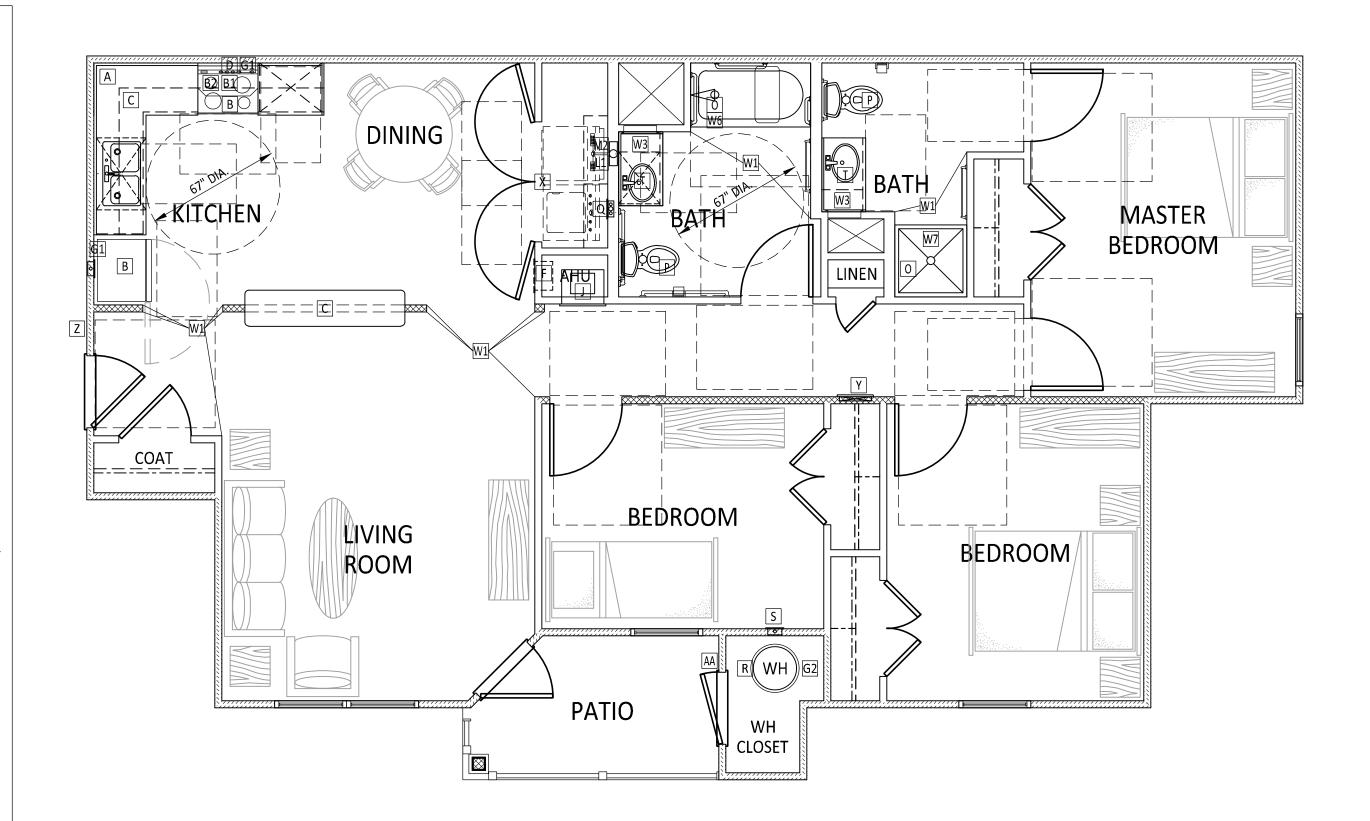
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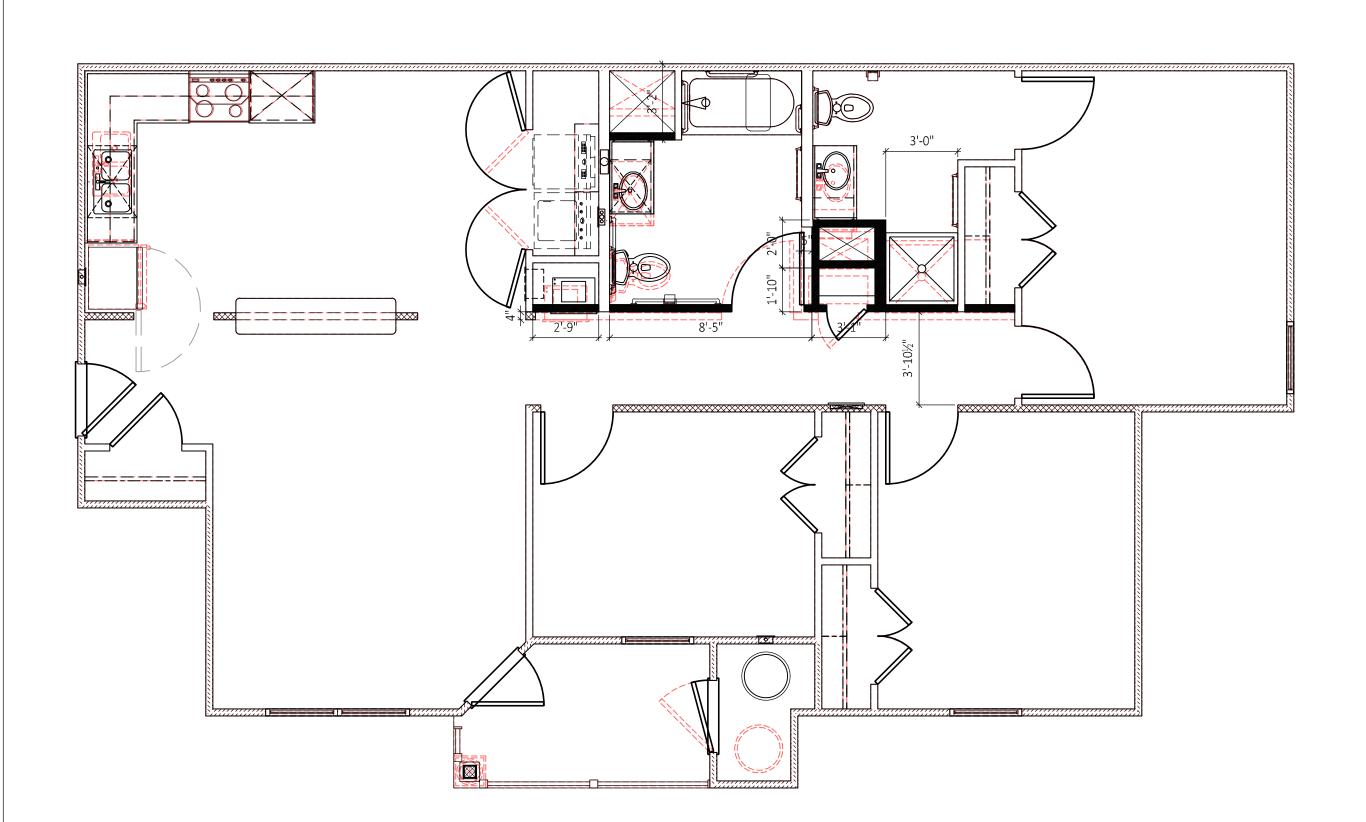
STANDARD UNIT PLANS

A-2.01

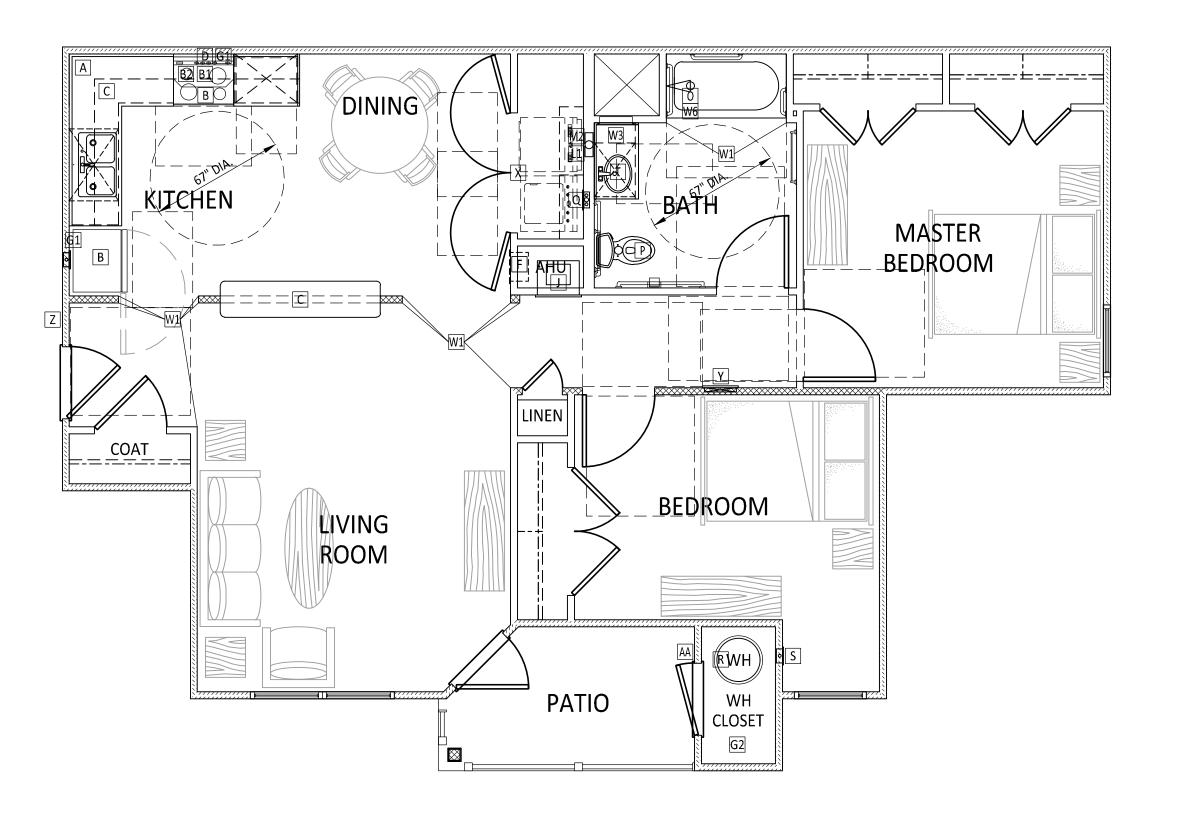
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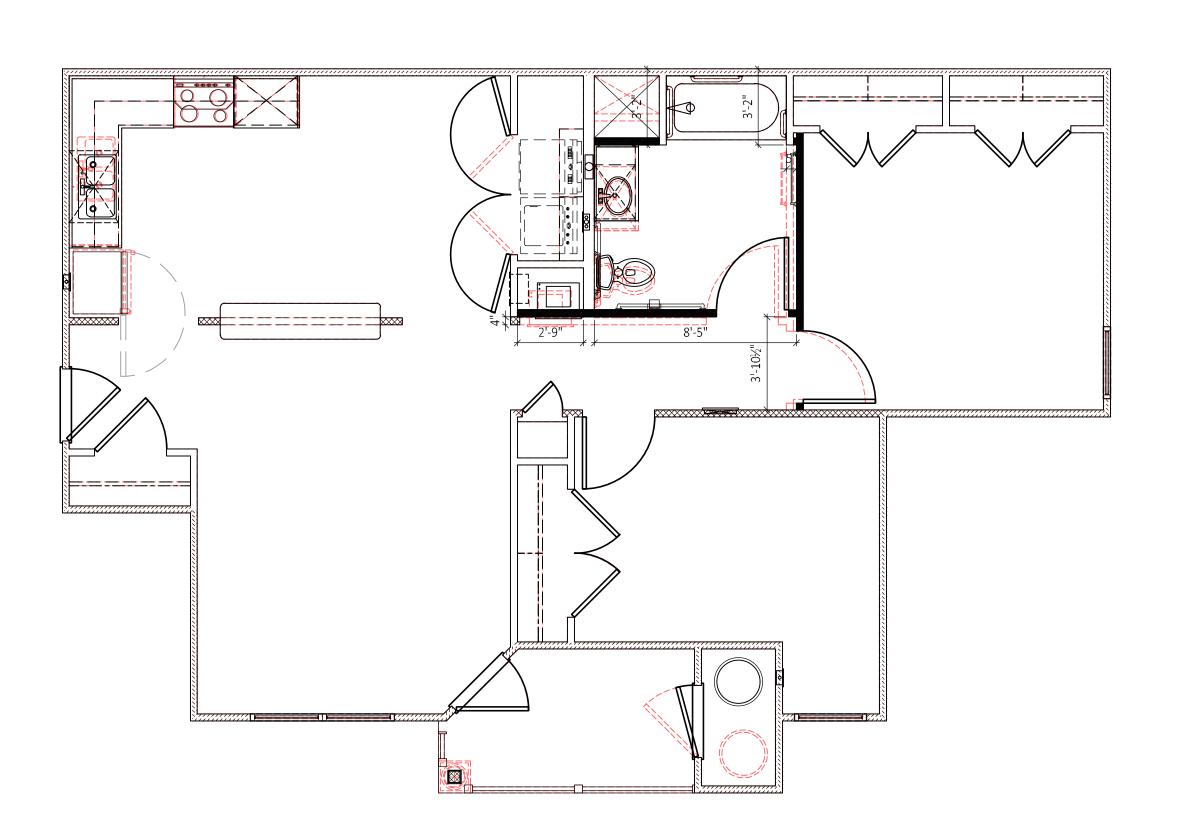






DEMO & NEW WALLS FOR 2BR-HC UNIT FLOOR PLAN

A-2.02 / 1/4"=1'-0" 955 SQ. FT. NET





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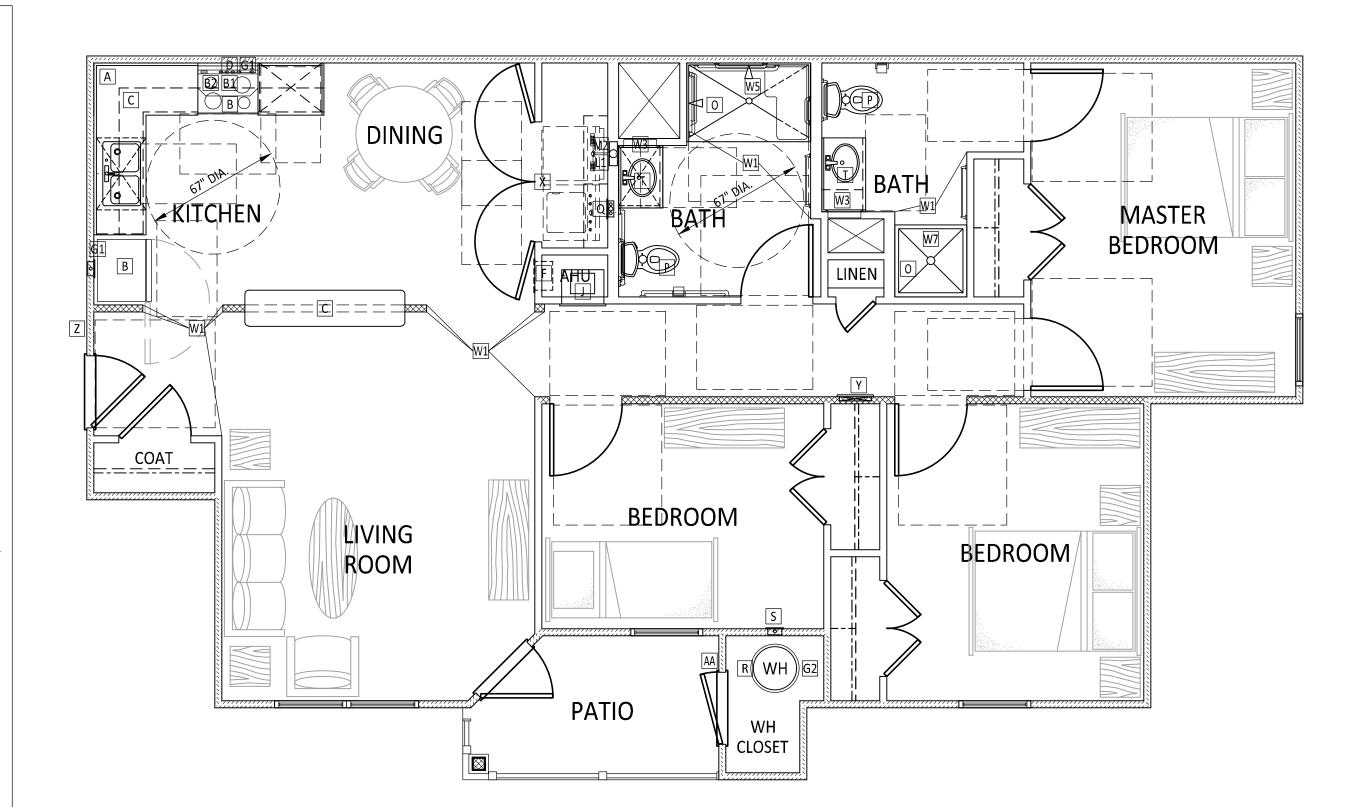
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HC UNIT PLANS

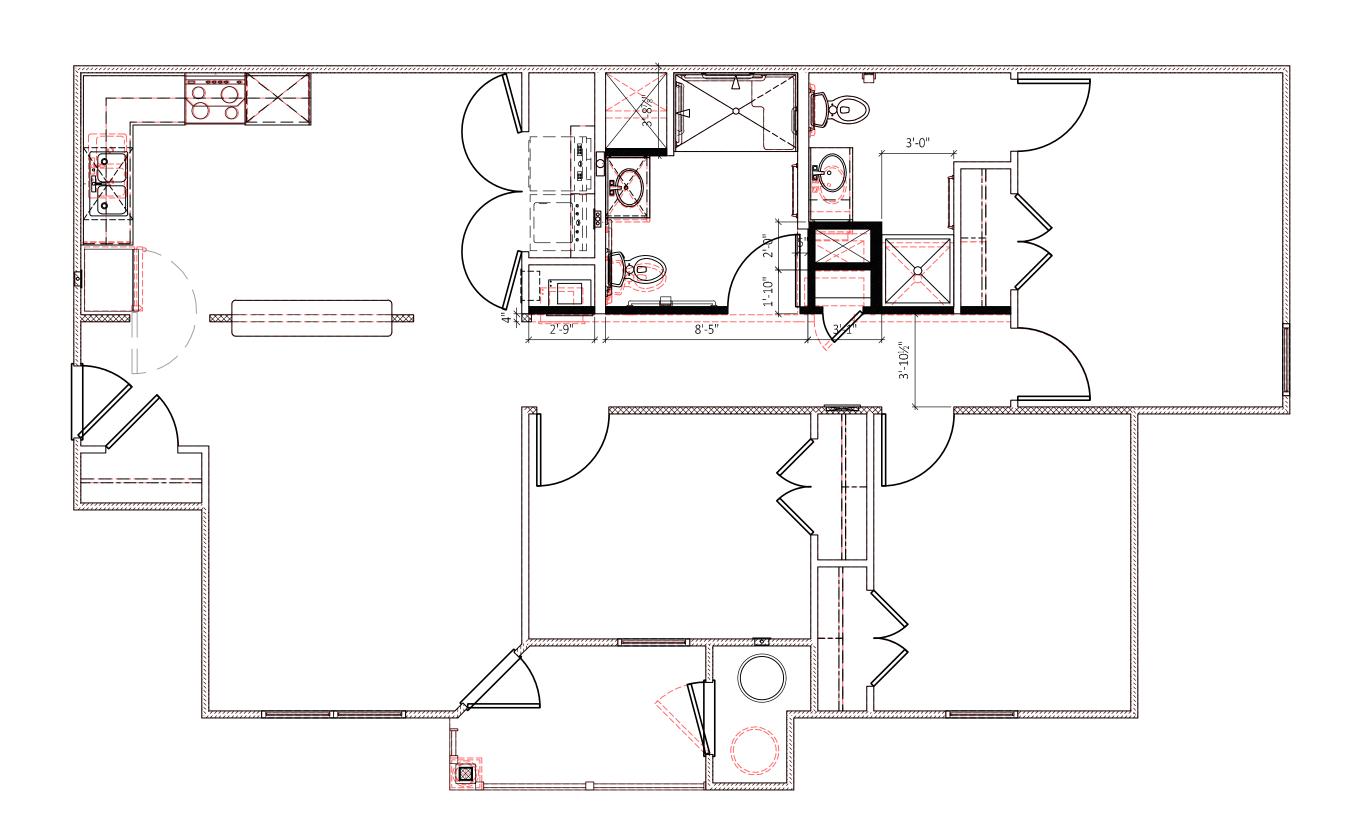
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- S. INSPECT & REPAIR/REPLACE INDIVIDUAL UNIT WATER SHUT-OFF VALVES IN LOCATIONS THAT ARE ACCESSIBLE TO THE TENANT & ADD LABELS.
- T. REPLACE SINKS & FAUCETS IN ALL KITCHENS AND BATHROOMS.
- U. REPLACE INTERIOR DOORS AS PER MATRIX -
- APPROXIMATELY 57 UNITS
- V. REPLACE VINYL COATED WIRE SHELVING AS PER MATRIX -APPROXIMATELY 40 UNITS
- W. HC UNITS:
- 1. ADD ROUNDED CORNERS TO HC UNITS. 2. ALL DOOR LOCKS TO BE PUSH-BUTTON (THUMB-TURN FOR DEADBOLT OK).
- 3. REMOVABLE CABINETS IN BATHROOM SHALL HAVE A DRAWER BASE ADJACENT TO THE TUB FOR INCREASED MANEUVERABILITY.
- 4. POSSIBLY USE FOLD-UP SIDE GRAB BAR.
- 5. CONTROLS NEAR SEAT OF ROLL-IN SHOWER.
- 6. SPOUT & CONTROLS OF TUB/SHOWER OFFSET.
- 7. STEP-IN SHOWER AT SECOND BATH IN HC. X. ENSURE 100SI MAKE UP AIR TO LAUNDRY CLOSET. MAY
- NEED TO ADD VENT. Y. ENSURE NO FOREIGN OBJECTS ARE IN ANY ELEC. PANEL
- ENCLOSURES. Z. UNIT ENTRY LIGHT MUST BE LOW-PROFILE (PROTRUDES <4")
- AA. MECH CLOSETS SHALL HAVE A SINGLE CYLINDER DEADBOLT, ACCESSIBLE ONLY TO MAINTENANCE (NO

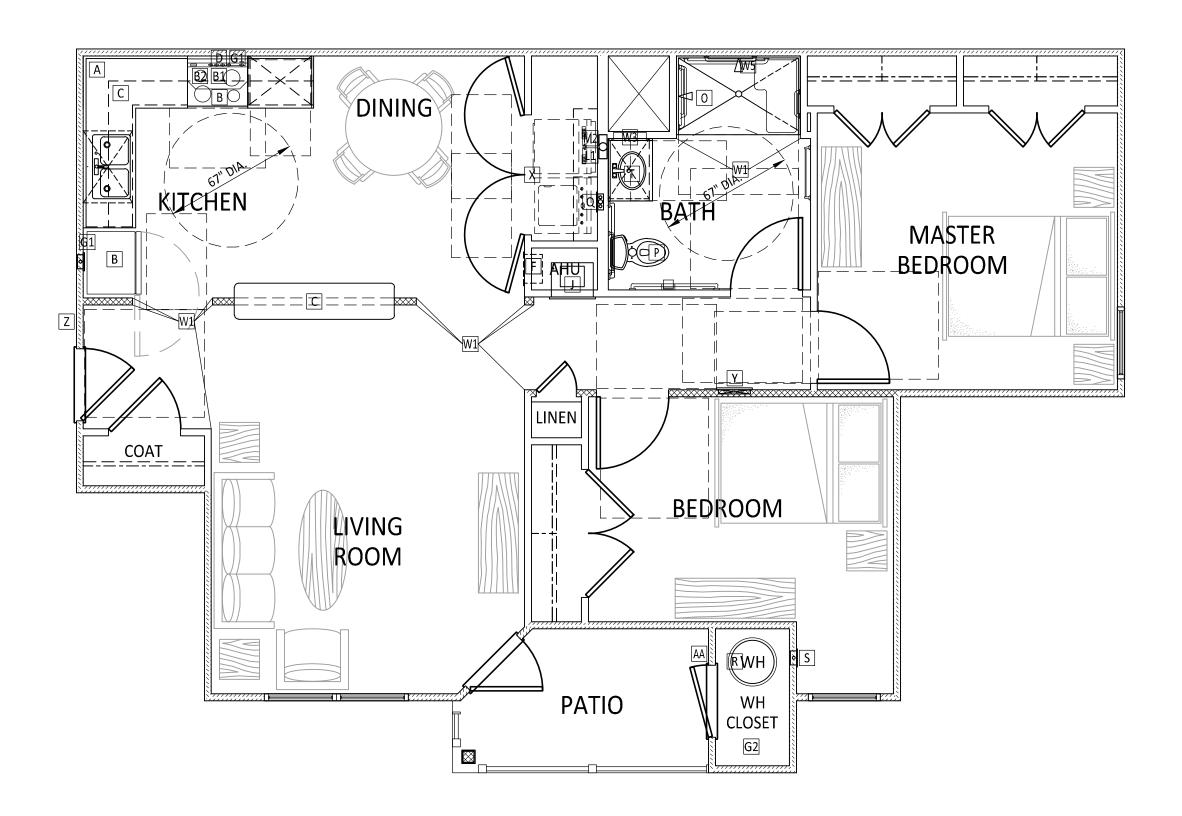
DOORKNOB & NOT ACCESSIBLE TO TENANT).







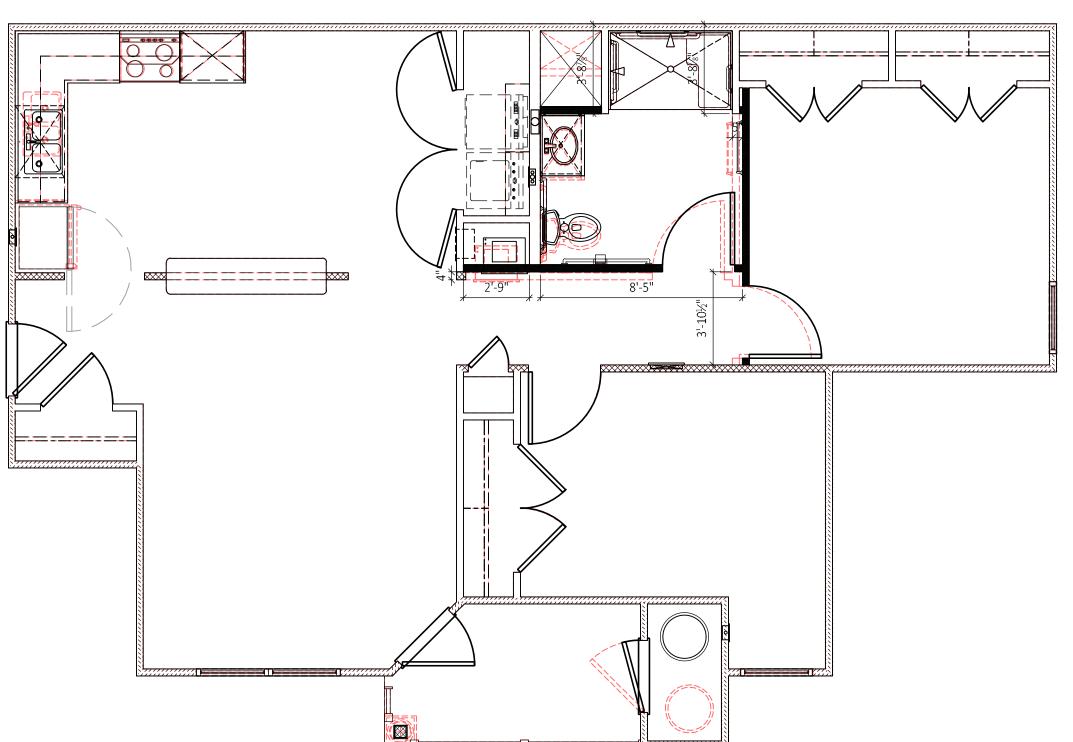
DEMO & NEW WALLS FOR 3BR-HC 3 UNIT w/ SHOWER FLOOR PLAN A-2.03 / 1/4"=1'-0" 1178 SQ. FT. NET



PROPOSED 2BR-HC UNIT w/ SHOWER FLOOR PLAN A-2.03 / 1/4"=1'-0" 955 SQ. FT. NET

DEMO & NEW WALLS FOR 2BR-HC UNIT w/ SHOWER FLOOR PLAN

A-2.03 / 1/4"=1'-0" 955 SQ. FT. NET



HC SHOWER UNIT PLANS

A-2.03

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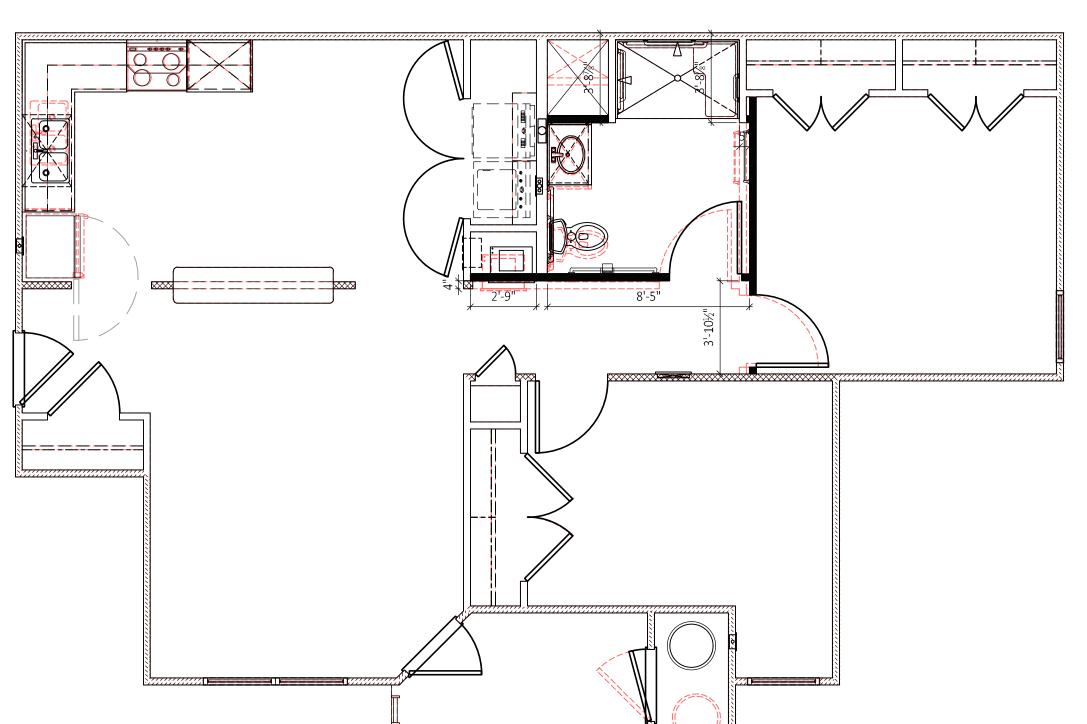
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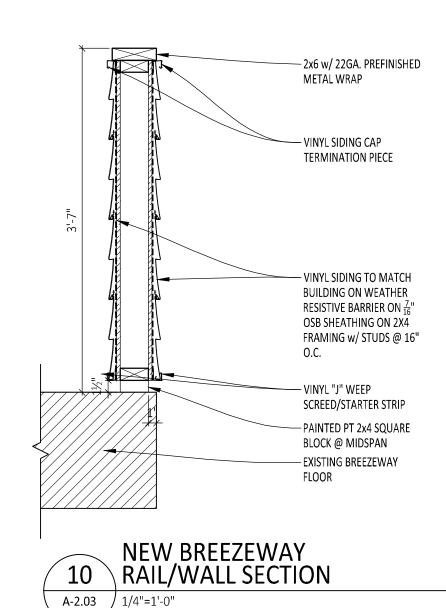
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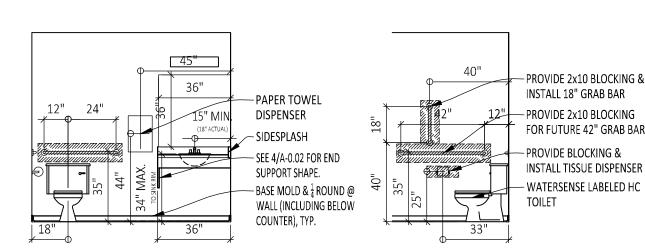
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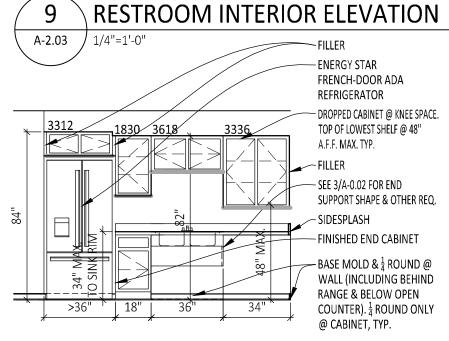
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- B. REPLACE ALL APPLIANCES AS PER MATRIX APPROXIMATELY 72 UNITS.
- 1. RECIRCULATING RANGE HOODS.
- 2. ADD ANTI-TIP DEVICE TO RANGE SECURED TO WALL &
- C. REPLACE ALL COUNTERTOPS.
- D. REPLACE SPLASH GUARDS BEHIND RANGE AS PER MATRIX -APPROXIMATELY 60 UNITS.
- E. REPAINT ALL UNITS AS PER MATRIX APPROXIMATELY 80
- . ADD HARDWIRED DEHUMIDIFIER w/ HARD PIPED CONDENSATE TO ALL GROUND FLOOR MECH CLOSETS THAT DO NOT HAVE ONE.
- G. REPLACE ALL FLOORING w/ LVP & INSTALL SHOE MOLD PER MATRIX - APPROXIMATELY 74 UNITS
- 1. INCLUDING BEHIND RANGE & FRIDGE, INSIDE OF MECH CLOSET, & BEHIND ALL REMOVABLE CABINETS.
- 2. MECH CLOSET EPOXY FLOOR ON 1st & VCT ON 2nd.
- H. REPLACE ALL LIGHT FIXTURES, ADDING CEILING FANS TO ALL BEDROOMS.
- 1. UNIT BEDROOMS w/ BUNK BEDS TO HAVE CEILING FAN STORED ON SITE.
- 2. FANS MUST HAVE TWO SWITCHES (ONE FOR THE LIGHT & ONE FOR THE FAN)
- EXAMINE ALL BATH FANS & REPLACE/REPAIR AS NEEDED.
- 1. WIRE BATH FAN TO MAIN CEILING LIGHT IN ALL BATHROOMS AS PER QAP REQUIREMENTS.
- REPLACE ALL AIR HANDLERS PER MATRIX APPROXIMATELY 82 UNITS
- 1. ENCLOSE AIR RETURNS.
- 2. NEW TOP DISTRIBUTION COLLARS.
- K. REPLACE ALL CONDENSERS, NEW REFRIGERANT AND PROPERLY SIZED SUPPLY LINES PER MATRIX -APPROXIMATELY 75 UNITS
- . EXAMINE & CLEAN ALL DRYER LINES TO ENSURE THAT THEY ARE HARD DUCTED TO THE EXTERIOR.
- 1. LOWER DRYER VENT HOOKUP TO BE JUST ABOVE (ON) THE BOTTOM PLATE. M. REPLACE ALL RECEPTACLES, SWITCHES, & COVER PLATES.
- 1. INCLUDING ADDING SWITCHES FOR VENT HOOD FAN & LIGHT ADJACENT TO THE RANGE AT THE HC WORKSPACE IN HC UNITS.
- 2. CHECK DRYER PLUGS AND REPLACE ONLY IF FAULTY.
- N. REPLACE ALL SMOKE DETECTORS w/ HARDWIRED
- INTERCONNECTED SMOKE DETECTORS. 1. AT LEAST ONE SMOKE DETECTOR IN THE MAIN AREA OF
- EACH UNIT SHALL ALSO BE A CO DETECTOR. O. REPLACE ALL SHOWER/TUBS & VALVES PER MATRIX -
- APPROXIMATELY 70 UNITS P. REPLACE ALL TOILETS INCLUDING REPLACING ELONGATED
- TOILETS IN HC UNITS. Q. REPLACE DAMAGED OR RUSTED WASHER BOXES, AS PER
- MATRIX APPROXIMATELY 40 UNITS. R. REPLACE WATER HEATERS OLDER THAN 5 YEARS PER MATRIX - APPROXIMATELY 72 UNITS.
- 1. INCLUDING OVERFLOW PANS & ENSURE THAT THEY ARE PIPED TO THE EXTERIOR.
- 2. PROPERLY INSTALLED & SECURED EXPANSION TANKS. 3. BACKFLOW PREVENTER
- S. INSPECT & REPAIR/REPLACE INDIVIDUAL UNIT WATER
- SHUT-OFF VALVES IN LOCATIONS THAT ARE ACCESSIBLE TO THE TENANT & ADD LABELS.
- T. REPLACE SINKS & FAUCETS IN ALL KITCHENS AND BATHROOMS.
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- X. ENSURE 100SI MAKE UP AIR TO LAUNDRY CLOSET. MAY
- NEED TO ADD VENT. Y. ENSURE NO FOREIGN OBJECTS ARE IN ANY ELEC. PANEL
- **ENCLOSURES.**
- Z. UNIT ENTRY LIGHT MUST BE LOW-PROFILE (PROTRUDES <4") AA. MECH CLOSETS SHALL HAVE A SINGLE CYLINDER
- DEADBOLT, ACCESSIBLE ONLY TO MAINTENANCE (NO DOORKNOB & NOT ACCESSIBLE TO TENANT).







**COMMUNITY BUILDING** 

# COMMUNITY BUILDING BREAK AREA INTERIOR ELEVATION A-2.03 / 1/4"=1'-0"

# INTERIOR ELEVATION NOTES

PROVIDE BLOCKING &-

INSTALL 24" TOWEL BAR

- WATERSENSE LABELED

- PROVIDE BLOCKING &

INSTALL TISSUE DISPENSER

- 1. BLOCKING AT FIBERGLASS TUB OR SHOWER ENCLOSURE MAY BE PROVIDED BY FACTORY INSTALLED INTEGRAL WOOD REINFORCING. ENCLOSURE ALSO REQUIRES 2x10 IN-WALL BLOCKING IN LOCATIONS SHOWN.
- 2. SEE SHEET A-0.02 FOR ADDITIONAL HC NOTES & DETAILS 3. ALL DIMENSIONS REPRESENT FINISHED DIMENSIONS. ALL FIXTURES, OUTLETS, & OTHER ITEMS SHALL BE COORDINATED WITH THESE DIMENSIONS IN LIEU OF
- WHAT IS SHOWN ON THE PLANS. 4. CABINET SHOP DRAWINGS SHALL BE PROVIDED FOR ALL CABINETRY & DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION.
- 5. IN-WALL BLOCKING SHALL BE PROVIDED FOR ALL WALL-HUNG ITEMS INCLUDING CABINETS, COUNTERS, SINKS. TOWEL BARS TISSUE DISPENSERS, & OTHER ITEMS.
- 6. BASE TRIM AND  $\frac{1}{4}$  ROUND MOLD REQUIRED BEHIND FRIDGE AND RANGE AS PER NCHFA REGULATIONS

SHOWER ROD-

LOW-FLOW SHOWERHEAD -

RECESSED MED. CAB. w/ -

SHELF @ 43" A.F.F. MAX.

ONE-PIECE STEP-IN-

SURROUND

FIBERGLASS SHOWER

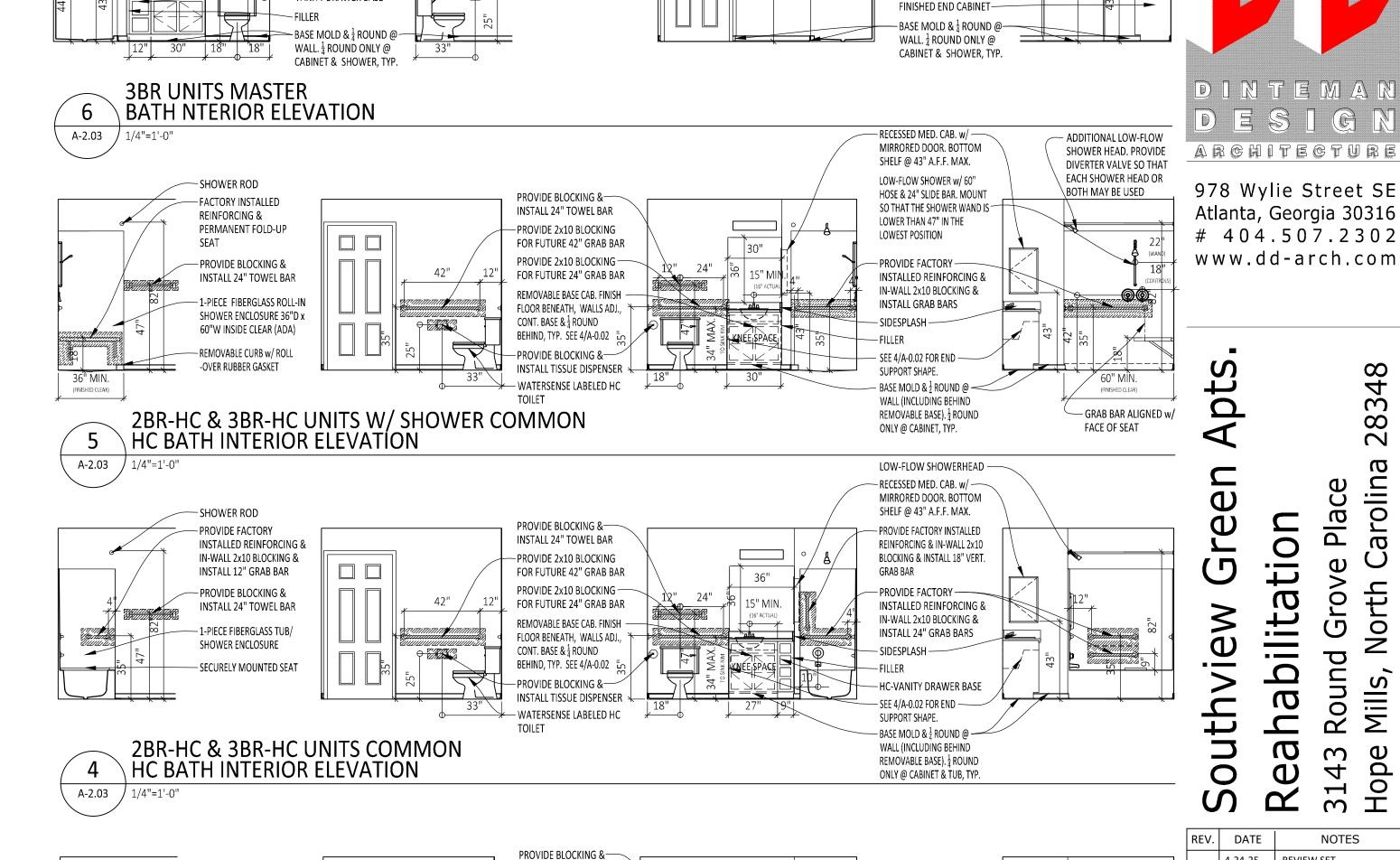
FINISHED END CABINET—

BASE MOLD &  $\frac{1}{4}$  ROUND @---

WALL. <sup>1</sup>/<sub>4</sub> ROUND ONLY @

CABINET & SHOWER, TYP.

MIRRORED DOOR. BOTTOM



PROVIDE BLOCKING &-INSTALL 24" TOWEL BAR

- WATERSENSE LABELED

- PROVIDE BLOCKING &

INSTALL TISSUE DISPENSER

LOW-FLOW SHOWERHEAD -

RECESSED MED. CAB. w/ -

SHELF @ 43" A.F.F. MAX.

ONE-PIECE STEP-IN —

SURROUND

FIBERGLASS SHOWER

MIRRORED DOOR. BOTTOM

LOW-FLOW SHOWERHEAD

RECESSED MED. CAB. w/

SHELF @ 43" A.F.F. MAX.

- PROVIDE BLOCKING &

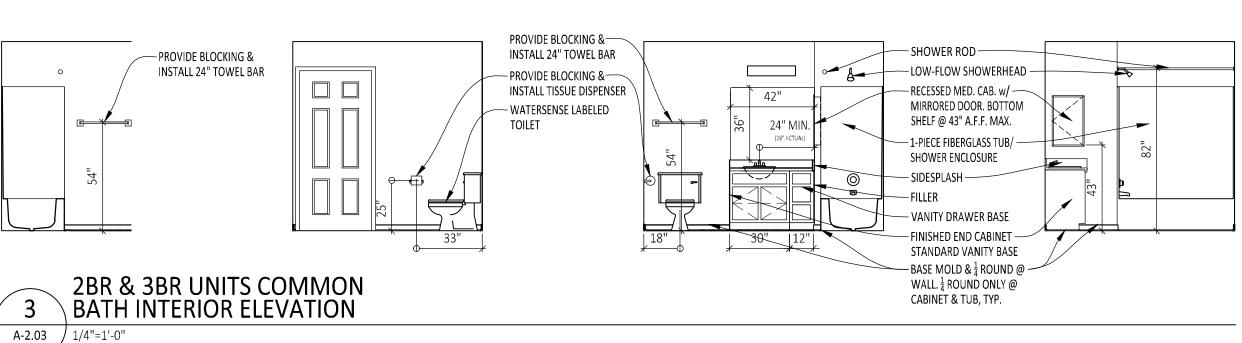
- SIDESPLASH

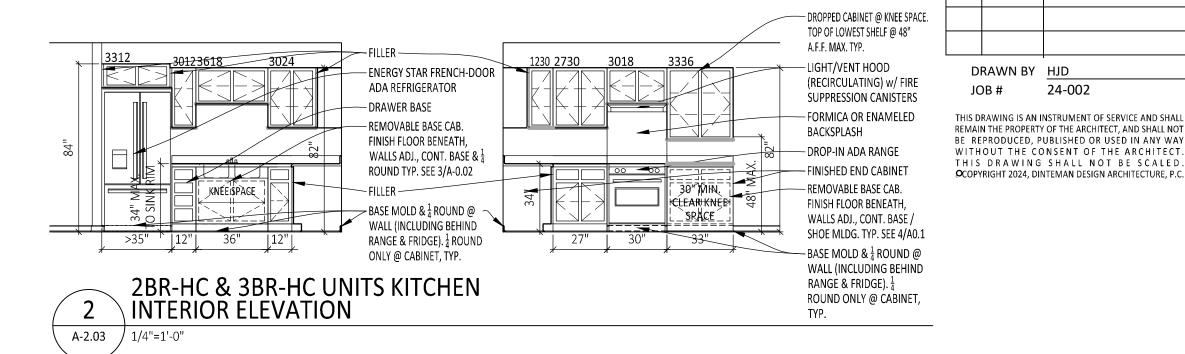
INSTALL 24" TOWEL BAR

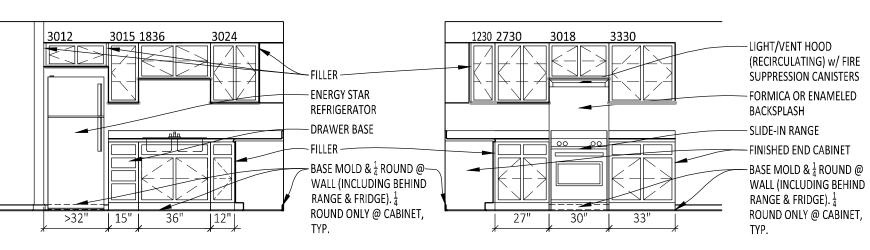
- VANITY DRAWER BASE

24" MIN. 🔀

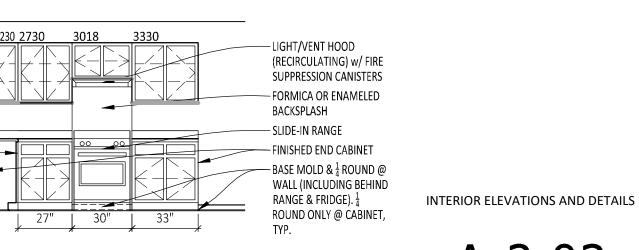
MIRRORED DOOR. BOTTOM







2BR & 3BR UNITS KITCHEN INTERIOR ELEVATION A-2.03 / 1/4"=1'-0"



A-2.03

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A-2.03 / 1/4"=1'-0"

24" MIN∑

**3BR-HC UNITS MASTER** NON-HC BATH INTERIOR ELEVATION

SHOWER ROD

LOW-FLOW SHOWERHEAD

RECESSED MED. CAB. w/

SHELF @ 43" A.F.F. MAX.

- PROVIDE BLOCKING &

— VANITY DRAWER BASE

WALL.  $\frac{1}{4}$  ROUND ONLY @

CABINET & SHOWER, TYP.

BASE MOLD & A ROUND @

- SIDESPLASH

— FILLER

INSTALL 24" TOWEL BAR

MIRRORED DOOR, BOTTOM



A-3.01 / 3/16"=1'-0"



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NEW SHAKE-STYLE VINYL SIDING NEW PREMANUFACTURED SQUARE COLUMN

NEW 30-YEAR FIBERGLASS ARCHITECTURAL

NEW VINYL GABLE VENT (IF DAMAGED)

NEW 43" HIGH KNEEWALL w/ SIDING TO

NEW 24" Ø VINYL GABLE VENT (IF DAMAGED)

REPLACE METAL GUARDRAIL

SHINGLES

NEW 43" HIGH VINYL GUARDRAIL EXISTING BRICK ROWLOCK ON SOLDIER ON NEW VINYL SIDING w/ 6" REVEAL

NEW TRIANGULAR VINYL GABLE VENT (

NEW 30-YEAR FIBERGLASS ARCHITECTURAL

2x10 BAND TRIM w/ ALUMINUM WRAP & "Z

EXISTING BRICK ROWLOCK ON SOLDIER ON

EXISTING BRICK ROWLOCK w/ NEW FLASHING

NEW 30-YEAR FIBERGLASS ARCHITECTURAL SHINGLES

NEW 43" HIGH KNEEWALL w/ SIDING TO REPLACE METAL GUARDRAIL

NEW SHAKE-STYLE VINYL SIDING

NEW 43" HIGH VINYL GUARDRAIL

NEW VINYL SIDING w/6" REVEAL

NEW VINYL CORNER TRIM

NEW 36" HIGH VINYL RAIL

EXISTING BRICK VENEER

EXISTING BRICK ROWLOCK ON SOLDIER ON

EXISTING BRICK ROWLOCK w/ NEW FLASHING

NEW SINGLE-HUNG VINYL WINDOW

NEW VINYL CORNER TRIM

EXISTING BRICK VENEER

NEW 18" x 24" VINYL GABLE VENT (IF DAMAGED)

NEW SHAKE-STYLE VINYL SIDING

NEW VINYL SIDING w/ 6" REVEAL

**EXISTING BRICK SOLDIER** 

NEW SINGLE-HUNG VINYL WINDOW

NEW VINYL CORNER TRIM NEW 36" HIGH VINYL RAIL

EXISTING BRICK ROWLOCK w/ NEW FLASHING EXISTING BRICK VENEER

BLDG #s 4, 5, 6, 7, 8, & 9 FRONT ELEVATION

A-3.02 / 3/16"=1'-0"

A-3.02

NOT RELEASED FOR CONSTRUCTION

**ELEVATIONS** 

# **MECHANICAL NOTES:**

- ALL MECHANICAL LAYOUTS MAY OCCUR MIRRORED.
- ALL PENETRATIONS OF A RATED ASSEMBLY TO BE PROTECTED BY MEASURES APPROVED BY THAT ASSEMBLY. ALL CONDENSATE LINES TO EXTEND TO HUB DRAIN PIPED DIRECTLY TO THE EXTERIOR AND/OR STORM SEWER/FRENCH DRAIN. SEE
- REFERENCE MECHANICAL BUILDING PLANS FOR LOCATION OF COMPRESSORS & THE UNIT TO WHICH THEY ARE ASSIGNED.
- RADIATION DAMPERS TO BE INSTALLED AT DUCT (INCLUDING BATH EXHAUST) CEILING MEMBRANE PENETRATIONS OF FIRE RESISTANT RATED FLOOR/CEILINGS OR ROOF/CEILINGS. DAMPER TO MEET THE REQUIREMENTS OF UL 555C.
- REFERENCE ARCHITECTURAL PLANS FOR WALL, FLOOR/CEILING & ROOF/CEILING RATINGS.
- INSTALL FIRE-STAT IN PLENUM ABOVE AHU TO CEASE AIRFLOW DURING FIRE EVENT.
- PROVIDE A RATED CEILING ACCESS PANEL AT AHU AND KITCHEN EXHAUST DUCT PENETRATION FOR DAMPER INSPECTION AND RESET.
- 9. THE FLEXIBLE DUCT WORK SHALL BE INSTALLED TIGHT, WITHOUT EXCESSIVELY TIGHT BENDS. DUCT LENGTH SHOULD BE KEPT AS SHORT
- 10. DUCTWORK SHALL HAVE AN INSULATION VALUE OF GREATER THAN OR EQUAL TO R-6 INSULATION ON DUCTS IN SEMI-CONDITIONED FLOOR/CEILING SPACES, R-8 IN UNCONDITIONED ATTIC SPACES.
- 11. SUPPLY PLENUM TO BE RIGID DUCT. ALL TAKEOFFS FROM RIGID DUCT TO BE 6" MIN. APART. NO TAKEOFFS FROM ENDS OF PLENUM.
- 12. SUPPLY DIFFUSERS SHALL BE 12" x 8" UNLESS NOTED OTHERWISE.
- 13. CONTINUOUS DUCT WORK MUST BE SEALED WITH MASTIC AND FIBERGLASS MESH.
- 14. ALL OPENINGS IN DUCT WORK AT REGISTERS AND GRILLS MUST BE COVERED AFTER INSTALLATION.
- 15. CONTRACTOR TO INSTALL PLAQUE STATING: "ANY INSTALLED DRYER MUST BE CAPABLE OF EXHAUSTING 35'-0" " AT DRYER LOCATION. 16. PROVIDE CFMs AS INDICATED. TOP FLOOR BATH VENTS TO BE VENTED TO THE SOFFIT & TERMINATED w/ A HORIZONTAL PEST-PROOF BACK-DRAFT DAMPER CAP. ALL OTHER FLOORS' VENTS TO BE ROUTED TO THE EXTERIOR THRU THE JOIST SPACE & TERMINATE w/ SCREEN & COVER, TYP. U.N.O. SEAL ALL JOINTS w/LIQUID MASTIC.
- 17. DUCTWORK SHALL HAVE A LEAKAGE RATE OF LESS THAN OR EQUAL TO 4 CFM TO OUTDOORS / 100 SQ FT.
- 18. ROUTE ALL PIPING & CONDUIT AS INDICATED, BUT SO AS NOT TO DEFACE THE INTERIOR, EXTERIOR, OR STRUCTURE OF BUILDING. VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
- 19. DAMAGE TO STRUCTURE BEYOND CUTTING & PATCHING FOR WORK INDICATED WILL BE REPAIRED TO EXISTING CONDITIONS AT
- 20. COORDINATE ALL PIPING & DUCT WORK LOCATIONS w/ OTHER DIVISIONS & EXISTING CONDITIONS.

# NOTES M-0.01:

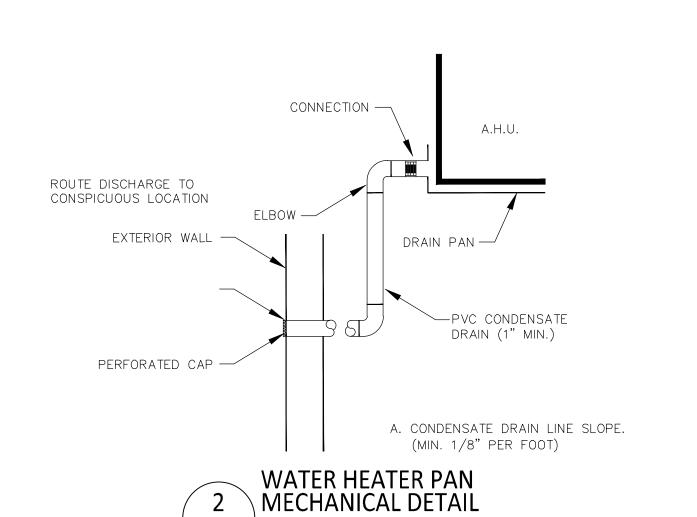
- THE AIR CONDITIONING AND DUCT SYSTEMS WILL BE VERIFIED IN ACCORDANCE WITH ACCA MANUAL J AND S GUIDES FOR RESIDENTIAL HVAC SYSTEMS. THE SYSTEMS INDICATED CAN BE REPLACED WITH PROPERLY SIZED SEER 14.5 / HSPF 8.2 UNITS WITH ZERO CHLOROFLUOROCARBON REFRIGERANT.
- 2. EACH INDIVIDUAL ROOM NOT DIRECTLY CONNECTED TO THE SYSTEM RETURN SHALL HAVE DOORS UNDERCUT 1" CLEAR OF FINISHED FLOOR AND PROVIDED WITH A 4"x8" MIN. TRANSFER GRILL.
- ALL SUPPLY DUCTS AND PLENUMS (SUPPLY AND RETURN), EXHAUST AND VENTILATION DUCTS WILL BE SEALED WITH
- LIQUID MASTIC. DUCT TAPE WILL NOT ACCEPTABLE. ALL SEALANTS AND MASTICS WILL BE LOW VOC ADHESIVES. 4. DUCT LEAKAGE BASED ON FLOOR AREA SERVED (FINAL TESTING): -LEAKAGE TO OUTSIDE ≤ 4% DUCT LEAKAGE TEST
- RESULT FOR LEAKAGE TO OUTSIDE FOR EACH HVAC SYSTEM IS EQUAL TO OR LESS THAN 4% OF FLOOR AREA SERVED.
- DUCT INSULATION TO BE R-8: DUCTS IN UNCONDITIONED SPACE INDOOR COIL TO BE PROTECTED UNTIL FINISHED FLOOR INSTALLED
- NO DUCT TAKE-OFFS LOCATED WITHIN 6" OF SUPPLY PLENUM CAP OR SUPPLY TRUNK CAP 8. SUPPLY AND RETURN PLENUMS SHOULD BE CONSTRUCTED USING SHEET METAL ONLY.
- FRESH AIR RETURNS SHALL BE MINIMUM 12" ABOVE FLOOR

DAMPER TO BE LABELED "FIRE DAMPER" IN 1" LETTERS.

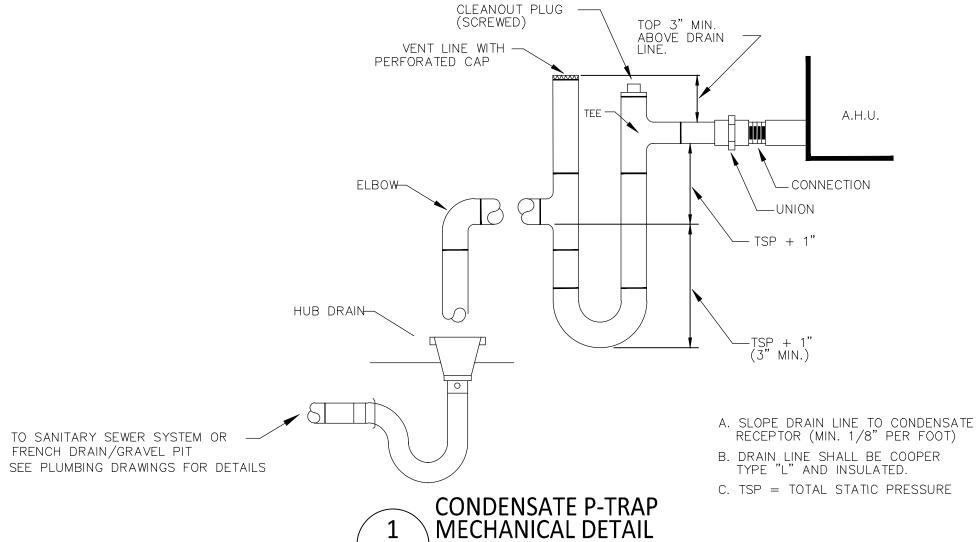
- HVAC CONTRACTOR SHALL PROVIDE SUBMITTAL WITH FOR ALL FIRE/SMOKE DAMPERS AND HAVE MANUFACTURERS
- INSTRUCTIONS AVAILABALE FOR FIELD INSPECTOR AT ROUGH INSPECTION.
- 10. EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION.
- 11. CLOTHES DRYER CLOSETS SHALL HAVE AN OPENING HAVING AN AREA OF NOT LESS THAN 100 SQUARE INCHES SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS.
- 12. SUPPLY REGISTERS ARE TO BE EQUIPPED WITH BUILT-IN BALANCING DAMPER ACCESS PANEL FOR RANGE HOOD VENT
- 13. HEAT PUMPS AND DISCONNECT SWITCHES SHALL BE PROVIDED WITH WITH A PERMANENT LABEL THAT IDENTIFIES THE UNIT NUMBER IT SERVES.
- 14. OUTDOOR COMPRESSOR DISCONNECT/SHUT-OFFS SHALL BE LOCATED SO AS TO PROVIDE A WORKSPACE IN FRONT OF
- THE SWITCH TO ALLOW THE OUTDOOR UNIT TO BE SHUT OFF WITHOUT REACHING OVER THE UNIT.

SPLIT SYSTEMS WITH ELECTRIC HEAT PUMP																						
	BLOW	/ER D	ATA		TOTAL COOLING	SENSIBLE COOLING	HEATING CAPACITY	ELEC.			TRICAL		<u> </u>			HRI	MODEL					
MARK	0514			0514		0514				Λ A			,	HEAT	AIR HANDLER   HEAT PUMP			UMP	RATING			
	CFM	SP	HP	OA	CAPACITY (BTU) (HR)	CAPACITY (BTU (HR)	47°/17° ( <u>BTU</u> )	(KW)	RLA	MCA	MOCP	МСА	RLA	MOCP	SEER2	HSPF2	AIR HANDLER	COMPRESSOR				
AHU-2, CU-2 (2 BR UNITS)	600	0.5"	1/2	33	17,800	13,350	16,000/9300	5	21.5	27	30/2	12.0	9.0	20/2	14.3	7.5	RHEEM RF1T2421MTAN	RHEEM RP14AY18				
AHU-3, CU-3 (3 BR UNITS)	800	0.5"	1/2	42	22,900	16,350	23,000/13,300	8	21.5	27	30/2	15.0	12.0	25/2	14.3	7.5	RHEEM RF1T2421MTAN	RHEEM RP14AY24				
AHU-4, CU-4 (CLUBHOUSE)	800	0.5"	1/2	42	22,900	16,350	23,000/13,300	8	21.5	27	30/2	15.0	12.0	25/2	14.3	7.5	RHEEM RF1T2421MTAN	RHEEM RP14AY24				

	EXHAUST FANS										
MARK	CFM	S.P.	OUTLET	AMPS	MODEL	DESCRIPTION	NOTES				
EF-1	80	0.1	3" <b>ø</b>	1.3	BROAN LPN 80	TENANT RESTROOMS	1				
EF-2	80	0.1	3" <b>ø</b>	1.3	BROAN LPN 80	CLUBHHOUSE RESTROOMS					
EF-3	110	0.1	6"	30	BROAN RN 110	LAUNDRY					



M-0.01  $\int 3/4$ "=1'-0"



M-0.01  $\int 3/4$ "=1'-0"

MECHANICAL NOTES SCHEDULES AND DETAILS

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M-0.01

		ELECTRICAL FIXTURE	SCHEDULE	
SYMBOL	ABBREV.	DESCRIPTION	COMPANY	MODEL #/FINISH
X	A1	CFL, CEILING SURFACE MOUNT	PROGRESS LIGHTING	P3816-09 EBWB/BRUSHED NICKEI
Δ Δ Δ	A2	CFL, WALL MOUNT, VANITY	PROGRESS LIGHTING	P2159-09/BRUSHED NICKEL
	А3	LED RECESSED CAN LIGHT	PROGRESS LIGHTING	P810013-028-30W
	B1	FLUORESCENT 2-BULB, OVAL LIGHT	PROGRESS LIGHTING	P232R8
0	B2	BREEZEWAY/EXTERIOR LIGHT	PROGRESS LIGHTING	P5704-30W
	В3	LED WALLPACK BUILDING LIGHT	KEYSTONE	KT-WPLED35-M1-8CSB-VDIM
	B4	BUILDING NUMBER SIGN LIGHT	TBD	TBD
$\vdash\bigcirc$	C1	LED, UNIT ENTRY, WALL MOUNTED @ 7' A.F.F.	PROGRESS LIGHTING	P560072-031-30 - Z-1060/BLACK
X	C2	EXTERIOR PORCH CEILING LIGHT w/ LED BULBS	PROGRESS LIGHTING	P5745-30
X	D1	CFL, DECORATIVE PENDANT	PROGRESS LIGHTING	P5094-30
	E1	ENERGY STAR CEILING FAN w/ LED LIGHT KIT	PROGRESS LIGHTING	P250016-030W & P2611-30WB
	E2	EXTERIOR GRADE ENERGY STAR CEILING FAN w/ LED LIGHT KIT FOR DAMP AREA	PROGRESS LIGHTING	P2502-30 & P2611-30WB
Y Y	EM	LED EMERGENCY LIGHT w/ BATTERY BACK UP	PROGRESS LIGHTING	PE2EU
$\otimes$	EX	EXIT LIGHT w/ BATTERY BACK UP	PROGRESS LIGHTING	PETPE-UR-30-RC
Ó	EF-1	ENERGY STAR EXHAIST FAN w/ FIRE DAMPER	SEE MECHANICAL PLANS	SEE MECHANICAL PLANS
	EWH-1	ELECTRIC WALL HEATER SET TO 40°	SEE MECHANICAL PLANS	SEE MECHANICAL PLANS

# **ELECTRICAL NOTES:**

- 1. DO NOT SCALE DRAWINGS, REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF DOORS, WINDOWS, AND CEILING OR WALL DEVICES.
- ROUTE ALL CONDUIT AS INDICATED, BUT SO AS NOT TO DEFACE BUILDING.
- VERIFY ANY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
- WHERE CONDUITS OR OTHER UTILITIES ARE ABANDONED, THEY SHALL BE TERMINATED IN A SAFE CONDITION. WHERE UTILITIES OR CONTROL DEVICES ARE TO BE LEFT IN SERVICE, THEY SHALL BE RETURNED TO OPERATIONAL CONDITION. DAMAGE TO STRUCTURE BEYOND CUTTING AND PATCHING FOR WORK INDICATED WILL BE REPAIRED TO **EXISTING CONDITION AT CONTRACTORS EXPENSE.**
- 5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE IN FORCE AT TIME OF PERMIT AND ALL GOVERNING LOCAL CODES OR ORDINANCES. ALL MATERIALS SHALL BE NEW AND SHALL BE UNDERWRITER'S LABORATORIES APPROVED.
- COORDINATE ALL CIRCUITING REQUIREMENTS WITH OTHER DISCIPLINES. REVIEW ALL DIVISIONS AND SECTIONS FOR ADDITIONAL REQUIREMENTS OR COORDINATION.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL WALL-MOUNTED OUTLETS SHALL BE MOUNTED 18" ABOVE FINISHED FLOOR TO OUTLET CENTERLINE.
- ALL CONDUCTORS SHALL BE COPPER & COLOR CODED IN ACCORDANCE w/ NEC.
- UNLESS SPECIFICALLY INDICATED OTHERWISE. EXTERIOR LIGHTING CONDUCTORS SHALL BE MINIMUM #8 AWG. FURNISH & INSTALL "GROUNDING" IN ACCORDANCE w/ NEC ARTICLE 250.
- 10. ALL SMOKE DETECTORS TO BE HARD WIRED w/ BATTERY BACK UP & INTERCONNECTED TO ALL SIGNALS AT THE SAME TIME IN ALL UNITS.
- 11. THE SMOKE DETECTORS ARE TO HAVE AN AUDIBLE ALARM OF MIN. 80 DECIBELS THROUGHOUT THE UNIT. THE SMOKE DETECTOR SHALL ALSO SOUND AN AUDIBLE ALARM THAT IS 15 DECIBELS OVER THE AMBIENT ROOM SOUND AT PILLOW LEVEL w/ BEDROOM DOOR CLOSED.
- 12. ALL EXTERIOR LIGHTS & OUTLETS TO BE MOUNTED w/ A MOUNT-MASTER SYSTEM THAT IS COMPATIBLE WITH THE VINYL SIDING.
- 13. PROVIDE STROBE AT 7' A.F.F. IN THE BATHROOM, BEDROOM, & COMMON AREA OF THE DESIGNATED HEARING/VISUAL IMPAIRED UNITS (av).
- 14. FIRE ALARM SUB-CONTRACTOR TO FURNISH CERTIFICATE OF INSTALLATION ON FIRE ALARM SYSTEM.
- 15. ALL PULL STATION BOXES, HORN & STROBE BOXES MUST BE ACCESSIBLE FOR INSPECTION OF WIRING.
- 16. ALL 125 VOLT, 15- & 20-AMPERE RECEPTACLES SHALL BE TAMPER-RESISTANT, RECEPTACLES IN DWELLING UNITS.
- 17. ALL DUPLEX OUTLETS ARE TO BE AFI.
- 18. ALL H/C UNITS (a) & (as) MUST HAVE EMERGENCY PULL CORD SWITCHES IN BATHROOMS & BEDROOMS WIRED TO EXTERIOR HORN/STROBE ABOVE ENTRY DOOR.
- 18. ALL H/C UNITS (a) & (as) MUST PROVIDE REMOTE SWITCHING FOR THE RANGE HOOD VENT & FAN ADJACENT TO THE WORK/KNEE SPACE.
- 19. PRE-WIRE ALL UNIT MECHANICAL CLOSETS FOR FUTURE DEHUMIDIFIERS.
- 20. ALL SWITCH, CABLE, PHONE, COMMUNICATION, AND OUTLET COVERS TO BE WHITE IN COLOR.
- 21. DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET OR SWITCH, UNO.



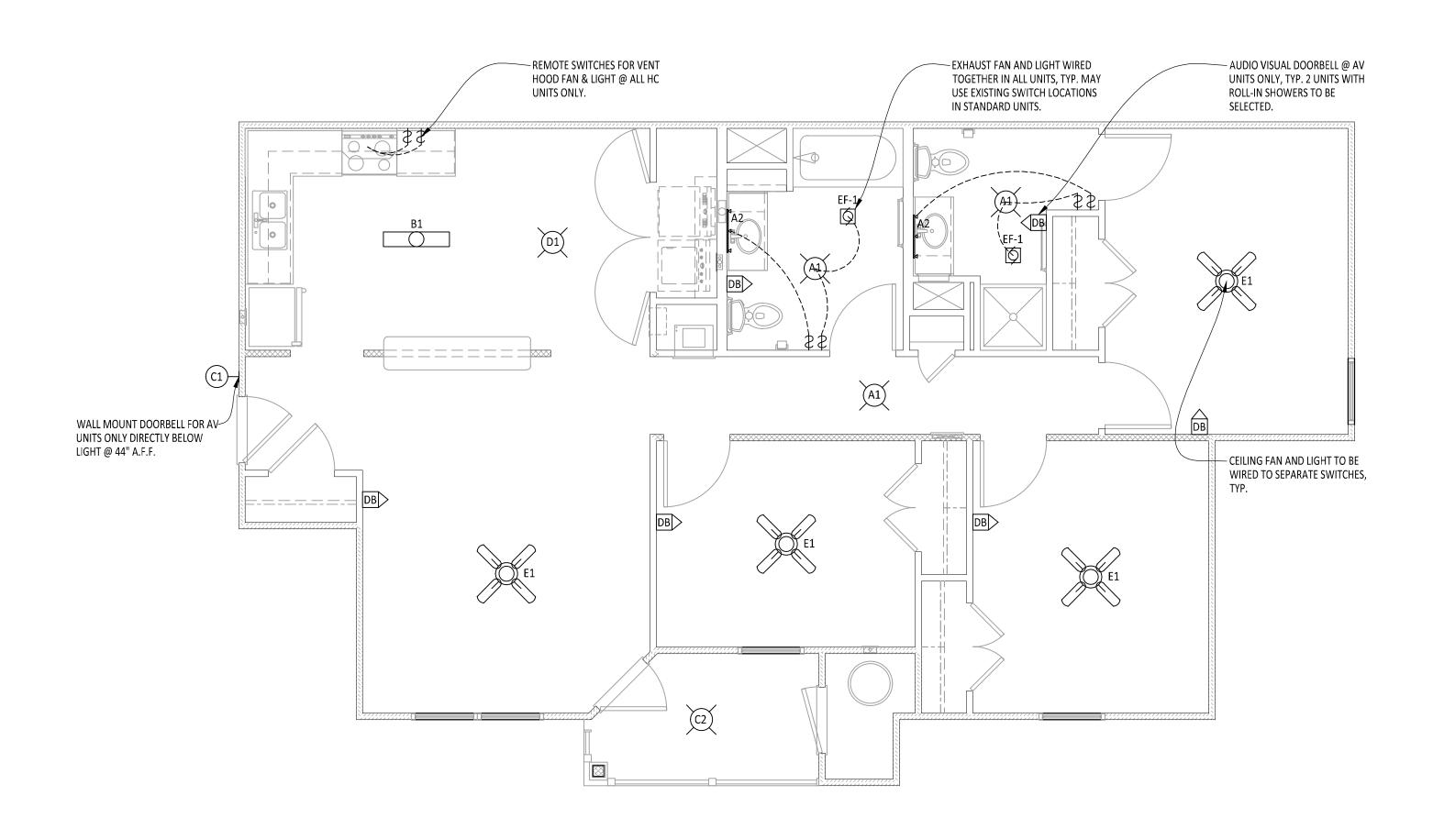
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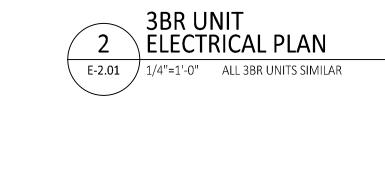
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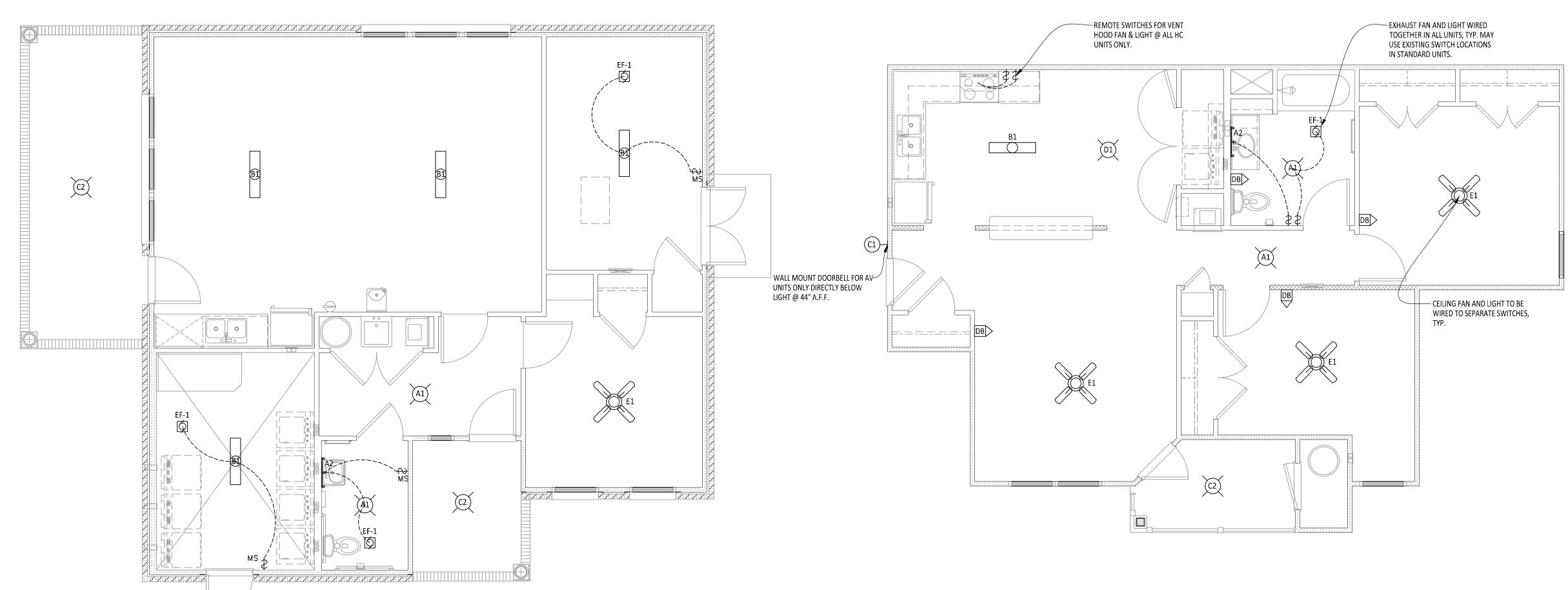
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2BR UNIT ELECTRICAL PLAN

E-2.01  $\int 1/4$ "=1'-0" ALL 2BR UNITS SIMILAR



COMMUNITY BUILDING 3 ELECTRICAL PLAN

E-2.01  $\int 1/4''=1'-0''$ 



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STANDARD UNIT PLANS

E-2.01

MARK	HOT WATER	COLD WATER	VENT	WASTE	FIXTURE	MODEL#	NOTES		
CW	<u>1</u> "	1 1 2	2"	2"	Washer Hookup	Oatey: 38470 for Fire-rated wall (1hr) Oatey: 38550 for Un-rated wall	Mount @ 42" A.F.F to the bottom of the box. Includes lint trap. Fire-rating of box shall match wall. When Connected Hose shall not block valve.		
DW	<u>3</u> 11	-	1- <u>1</u> "	2"	Dishwasher	See Appliance Schedule	See Appliance Schedule		
FD	-	<u>1</u> 11	2"	2"	Floor Drain	Jones Stephen Corp	3" x 4" Level Best Pipe Fit Drain Base w/ 3" Plastic Spud & 5" Nickel Bronze Round Strainer Primer tapped w/ 1/2" IPS Plug. Provide Trap Primer		
НВ	-	<u>1</u> 11	-	-	Hose Bib (Sill-cock)	Bib (Sill-cock) Woodford: 101PX Frostproof			
HD	-	1 <u>1</u> 11	2"	2"	Hub Drain	Jones Stephen Corp	3" x 4" Level Best Pipe Fit Drain Base w/ 3" Plastic Spud & 5" Nickel Bronze Round Strainer Primer tapped w/ 1/2" IPS Plug. Provide Trap Primer		
IM	-	<u>1</u> 111	-	-	Ice Maker Hook-up	IPS: Metal FR-12 for Fire-rated wall (1hr) Water Tite: AB9202 for Un-rated wall	Use rated box in partition wall		
KS-a	<u>3</u> 11 8	<u>3</u> 11 8	1- <u>1</u> "	2"	ANSI Type "A" Kitchen Sink for Units w/ (a), (as), or (as)(av) designations & Common Areas	Dayton: GE23321 Rear Drain S.S. Sink Proflow: PFXC3111CP Kitchen Faucet	6" deep max. w/ rear drain. Includes basin, controls, spout, sprayer & stoppers.		
KS-b	<u>3</u> 11	3 <sub>11</sub>	1- <u>1</u> "	2"	Kitchen Sink for Units w/ (b) designation, or no designation (upper floors)	Aquatic: 2603SMTE 1-piece tub/shower w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture & grab bars that comply w/ ANSI/ICC A117.1-2009. Includes seat, offset spout, offset mixing valve, & trip-lever stopper.		
LAV	<u>3</u> 11 8	<u>3</u> 11 8	1- <u>1</u> "	2"	Lavatory	Proflow: PFWS3016CP Lavatory Faucet	Water Sense labeled (1.5 gal/minute max.) Includes controls/spout, pop-up stopper & basin		
SHD	<u>3</u> 11 8	<u>3</u> 11	1- <u>1</u> "	2"	Shower Head	Proflow: PF7611SCP Shower Head	Water Sense labeled (1.75 gal/minute max.)		
SHW	<u>3</u> 11	3 <sub>11</sub>	1-½"	2"	ANSI Type "A" Roll-in Shower Surround for Units w/ (as), or (as)(av) designations	Aquatic: 16037BFSD - 1-piece f.g. roll-in shower 36" x 60" inside clear. Installed to have roll-in threshold w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture, grab bars & seat that comply w/ ANSI/ICC A117.1-2009. Includes mixing valve, and divereter so shower wand, shower head, or both may be used. Include removable curb.		
TUB-a	<u>3</u> 11 8	<u>3</u> 11 8	1- <u>1</u> "	2"	ANSI Type "A" Tub Surround for Units w/ (a), (as), or (as)(av) designations	Aquatic: 2603SMTE 1-piece tub/shower w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture & grab bars that comply w/ ANSI/ICC A117.1-2009. Includes seat, offset spout, offset mixing valve, & trip-lever stopper.		
TUB-b	<u>3</u> 11 8	<u>3</u> 11 8	1- <u>1</u> "	2"	ANSI Type "B" Tub Surround for Units w/ (b) designation	Aquatic: 2603SMTM 1-piece tub/shower w/ ANSI Grab Bar Reinforcing	Factory Installed Wood Reinforcing integrated into the bathing fixture for future grab bars that comply w/ ANSI/ICC A117.1-2009. Includes offset spout, offset mixing valve, & trip-lever stopper.		
TUB-c	3 <sub>11</sub> 8	3" 8	1- <del>1</del> "	2"	Tub Surround for Upper Level Units w/ no designation	Aquatic: 2603SGM 1-piece fiberglass tub/shower. Upper levels only. No reinforcing required.	Includes spout, mixing valve, & trip-lever stopper.		
US	311 8	311 8	1- <u>1</u> "	2"	ANSI Type "A" Tub Surround for Units w/ (a), (as), or (as)(av) designations	Aquatic: 2603SMTE 1-piece tub/shower w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture & grab bars that comply w/ ANSI/ICC A117.1-2009. Includes seat, offset spout, offset mixing valve, & trip-lever stopper.		
WC-a	-	<u>1</u> "	2"	3"	ANSI Type "A" Water Closet for Units w/ (a), (as), or (as)(av) designations & Common Areas	Proflow: PF1503WH ADA Height HET Bowl Proflow: PF6112WH 1.28 HET Tank	Complies w/ ANSI/ICC A117.1-2009 in Units, ADA-2010 in Common Areas. Water Sense labeled (1.28 gal/flush max.) Includes seat & lid. Flush control on open side. Use commercial seat (open, w/o lid) in common areas.		
WC-b	-	1/2	2"	3"	Water Closet for Units w/ (b) designation, or no designation (upper floors)	Proflow: PF1503WH Elongated HET Bowl Proflow: PF6112WH 1.28 HET Tank	Complies w/ ANSI/ICC A117.1-2009 in Units. Water Sense labeled (1.28 gal/flush max.) Includes seat & lid. Flush control on open side.		
WF	-	<u>3</u> "	1- <del>1</del> "	2"	Hi/Lo Water Fountain	Elkay: EMABFTLDDSC	Complies w/ ADA-2010		
WND	<u>3</u> 11	3" 8	-	-	ANSI Type "A" Shower Wand for Units w/ (as), or (as)(av) designations	Proflow: PF05844CP Hand Shower Wand Proflow: PF05130CP Slide Bar	Shall be Water Sense labeled (1.75 gal/minute max.) Includes 60" hose adjustable slider able to place wand w/in reach ranges (see Interior Elevations).		

SHOWER SURROUND MAY BE TILED ENCLOSURE W/ TILE ON CEMENTITIOUS BACKING INSTEAD OF ONE-PIECE FIBERGLASS SURROUND. IN ALL CASES 2x10 REINFORCING SHALL BE INSTALLED BETWEEN THE STUDS IN LOCATIONS AS INDICATED ON THE DRAWINGS IN ADDITION TO FACTORY INSTALLED WOOD REINFORCING INTEGRATED INTO THE BATHING FIXTURE

2. SIMILAR MODELS MAY BE ACCEPTABLE WITH ARCHITECT APPROVAL.

3. TYPICAL VALVES, HOSES, ESCUTCHEONS, ETC. ARE ALSO REQUIRED AS PER COMMON INSTALLATIONS.

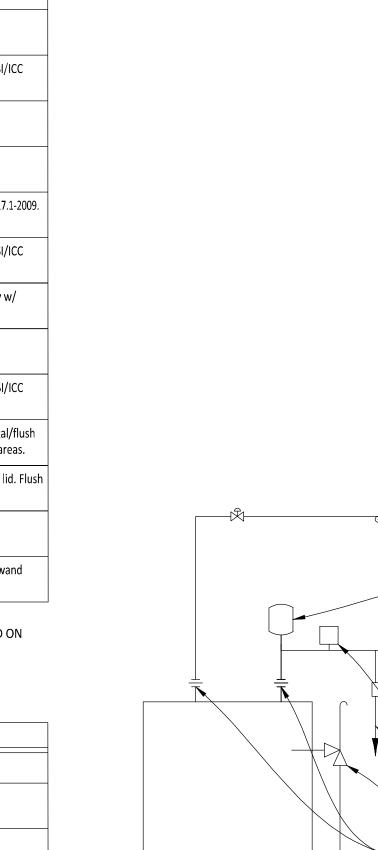
4. ALL GRAB BAR LOCATIONS AND BLOCKING SHALL BE AS INDICATED ON UNIT INTERIOR ELEVATIONS.

	WATER HEATER SCHEDULE											
MARK CAPACITY		EFFICIENCY	GPH RECOVERY			ELEMENTS		BREAKER	CONNECTIONS		MODEL#	NOTES
IVIAINI	CAFACITI	FACTOR	60°F	80°F	100°F	VOLTS	WATTS	DILAKLI	COLD	HOT	WIODEL#	NOTES
WH-1	40 GALLON	0.95	31	23	18	240	4500	30/2	<u>3</u> "	<u>3</u> 11 4	RHEEM PROE40-M2RH95	2BR TENANT UNITS
WH-2	50 GALLON	0.95	31	23	18	240	4500	30/2	<u>3</u> 11 4	<u>3</u> 11 4	RHEEM PROE50-M2RH95	3BR TENANT UNITS
WH-3	80 GALLON	0.95	41	31	25	240	6000	30/2	<u>3</u> 11 4	<u>3</u> 11 4	A.O. SMITH EGR-80	COMMUNITY BUILDING

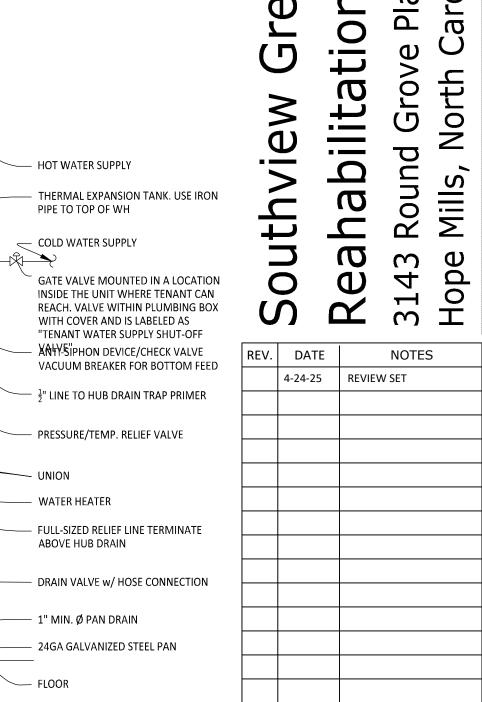
ALTERNATE MODELS MAY BE INSTALLED IF APPROVED BY ARCHITECT.

# PLUMBING NOTES:

- PIPING SHOWN IS DIAGRAMMATIC . ACTUAL PIPE LOCATIONS MY VARY.
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF DOORS, WINDOWS AND CEILING DEVICES.
- ROUTE ALL PIPING AND CONDUIT AS INDICATED, BUT SO AS NOT TO DEFACE EXTERIOR OF BUILDING. VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. FURNISH AND INSTALL ALL SYSTEMS OF WASTE AND VENT PIPING, HOT WATER PIPING AND COLD WATER PIPING, INCLUDING ALL FITTINGS, VALVES, ETC., AS REQUIRED.
- FURNISH AND INSTALL ALL PLUMBING FIXTURES AND EQUIPMENT AS SHOWN ON THE DRAWINGS. ALL PLUMBING SHALL BE COMPLETE WITH ESCUTCHEON COVERS AND OTHER ITEMS THAT MAY NOT BE SHOWN ON THE DRAWINGS TO PROVIDE A FINISHED APPEARANCE.
- PROVIDE SHUT-OFF VALVES AT EACH FIXTURE.
- 9. ALL PLUMBING PIPING SHALL BE CONCEALED WITHIN THE BUILDING STRUCTURE AND ABOVE DROP CEILINGS. 10. NO PIPING IS ALLOWED IN UNCONDITIONED SPACES
- 11. HOT AND COLD WATER PIPING SHALL BE TYPE PEX OR CPVC EXCEPT WHERE VISIBLE AND THEN IT SHALL BE A FINISH PIPING MATERIAL (CHROME FOR SHOWER, BRAIDED FLEXIBLE HOSE FOR WATER CLOSET SUPPLY)
- 12. CLEANOUTS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS AT EACH CHANGE IN DIRECTION CLEANOUTS. SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
- 13. THE PLUMBING CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL DIVISIONS TO AVOID INTERFERENCE WITH TRADES. 14. INSTALL REDUCED PRESSURE PRINCIPAL ASSEMBLY BACK-FLOW PREVENTION DEVICE ON THE MAIN WATER DOMESTIC WATER LINE AT THE CLOSEST POINT PRACTICAL NEAR THE DOMESTIC WATER METER.
- 15. INSTALL DOUBLE DETECTOR CHECK VALVE BACK-FLOW ASSEMBLY ON THE FIRE LINE AT THE CLOSEST POINT PRACTICAL TO THE FIRE WATER METER. 16. FROST-PROOF EXTERIOR FAUCET TO BE INSTALLED ON EXTERIOR WALLS.
- 17. INSTALL HOSE BIBB VACUUM BREAKERS AT ALL OUTDOOR WATER SPIGOTS 18. WATER SERVICE SHALL BE INSTALLED WITH A BYPASS FOR TESTING OF METER.
- 19. ALL BATHROOM FAUCETS, SHOWER HEADS, AND TOILETS MUST BE EPA WATER-SENSE RATED (SEE PLUMBING SCHEDULE).







HOT WATER SUPPLY

PIPE TO TOP OF WH

COLD WATER SUPPLY

WITH COVER AND IS LABELED AS

- PRESSURE/TEMP. RELIEF VALVE

— UNION

- WATER HEATER

ABOVE HUB DRAIN

— 1" MIN. Ø PAN DRAIN

- HUB DRAIN

24GA GALVANIZED STEEL PAN

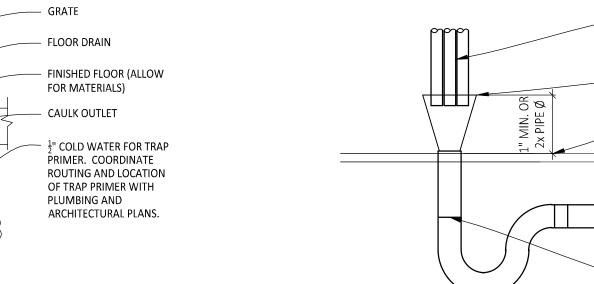
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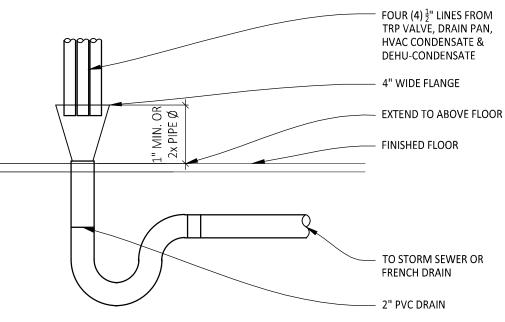
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JOB # 24-002



FLOOR DRAIN 2 PLUMBING DETAIL **P-0.01** / N.T.S.



HUB DRAIN PLUMBING DETAIL **P-0.01** / N.T.S.

PLUMBING NOTES SCHEDULES AND DETAILS

P-0.01