

SOUTHVIEW GREEN
APARTMENTS
RENOVATION & REHAB.
3143 ROUND GROVE PLACE
HOPE MILLS, NORTH CAROLINA 28348



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BUILDING CODES	
BUILDING	-2018 NORTH CAROLINA STATE EXISTING BUILDING CODE (IEBC 2015 w/ NC AMENDMENTS)
PLUMBING	-2018 NORTH CAROLINA PLUMBING CODE (IPC 2015 w/ NC AMENDMENTS)
MECHANICAL	-2018 NORTH CAROLINA MECHANICAL CODE (IMC 2015 w/ NC AMENDMENTS)
ELECTRICAL	-2020 NORTH CAROLINA ELECTRICAL CODE (NFPA 70, 2020 w/ NC AMENDMENTS)
ENERGY	-2018 NORTH CAROLINA ENERGY CONSERVATION CODE (IECC 2015 w/ NC AMENDMENTS)
FIRE	-2018 NORTH CAROLINA FIRE CODE (IFC 2015 w/ NC AMENDMENTS)
ACCESSIBILITY	-ANSI/ICC A117.1-2009 -FAIR HOUSING ACT -2010 ADA GUIDELINES
	-UFAS (UNIFORM FEDERAL ACCESSIBILITY STANDARDS)
ZONING	-LOCAL ZONING ORDINANCE

SCOPE OF WORK FOR INTERIOR IMPROVEMENTS:

- A. REPLACE KITCHEN CABINETS.
- B. REPLACE ALL APPLIANCES AS PER MATRIX - APPROXIMATELY 72 UNITS.
 - 1. RECIRCULATING RANGE HOODS.
 - 2. ADD ANTI-TIP DEVICE TO RANGE SECURED TO WALL & FLOOR.
- C. REPLACE ALL COUNTERTOPS.
- D. REPLACE SPLASH GUARDS BEHIND RANGE AS PER MATRIX - APPROXIMATELY 60 UNITS.
- E. REPAINT ALL UNITS AS PER MATRIX - APPROXIMATELY 80 UNITS.
- F. ADD HARDWIRED HUMIDIFIER w/ HARD PIPED CONDENSATE TO ALL GROUND FLOOR MECH CLOSETS THAT DO NOT HAVE ONE.
- G. REPLACE ALL FLOORING w/ LVP & INSTALL SHOE MOLD PER MATRIX - APPROXIMATELY 74 UNITS
 - 1. INCLUDING BEHIND RANGE & FRIDGE, INSIDE OF MECH CLOSET, & BEHIND ALL REMOVABLE CABINETS.
 - 2. MECH CLOSET - EPOXY FLOOR ON 1st & VCT ON 2nd.
- H. REPLACE ALL LIGHT FIXTURES, ADDING CEILING FANS TO ALL BEDROOMS.
 - 1. UNIT BEDROOMS w/ BUNK BEDS TO HAVE CEILING FAN STORED ON SITE.
 - 2. FANS MUST HAVE TWO SWITCHES (ONE FOR THE LIGHT & ONE FOR THE FAN).
- I. EXAMINE ALL BATH FANS & REPLACE/REPAIR AS NEEDED.
 - 1. WIRE BATH FAN TO MAIN CEILING LIGHT IN ALL BATHROOMS AS PER QAP REQUIREMENTS.
- J. REPLACE ALL AIR HANDLERS PER MATRIX - APPROXIMATELY 82 UNITS
 - 1. ENCLOSE AIR RETURNS.
 - 2. NEW TOP DISTRIBUTION COLLARS.
- K. REPLACE ALL CONDENSERS, NEW REFRIGERANT AND PROPERLY SIZED SUPPLY LINES PER MATRIX - APPROXIMATELY 75 UNITS
- L. EXAMINE & CLEAN ALL DRYER LINES TO ENSURE THAT THEY ARE HARD DUCTED TO THE EXTERIOR.
 - 1. LOWER DRYER VENT HOOKUP TO BE JUST ABOVE (ON) THE BOTTOM PLATE.
- M. REPLACE ALL RECEPTACLES, SWITCHES, & COVER PLATES.
 - 1. INCLUDING ADDING SWITCHES FOR VENT HOOD FAN & LIGHT ADJACENT TO THE RANGE AT THE HC WORKSPACE IN HC UNITS.
 - 2. CHECK DRYER PLUGS AND REPLACE ONLY IF FAULTY.
- N. REPLACE ALL SMOKE DETECTORS w/ HARDWIRED INTERCONNECTED SMOKE DETECTORS.
 - 1. AT LEAST ONE SMOKE DETECTOR IN THE MAIN AREA OF EACH UNIT SHALL ALSO BE A CO DETECTOR.
- O. REPLACE ALL SHOWER/TUBS & VALVES PER MATRIX - APPROXIMATELY 70 UNITS
- P. REPLACE ALL TOILETS INCLUDING REPLACING ELONGATED TOILETS IN HC UNITS.
- Q. REPLACE DAMAGED OR RUSTED WASHER BOXES, AS PER MATRIX - APPROXIMATELY 40 UNITS.
- R. REPLACE WATER HEATERS OLDER THAN 5 YEARS PER MATRIX - APPROXIMATELY 72 UNITS.
 - 1. INCLUDING OVERFLOW PANS & ENSURE THAT THEY ARE PIPED TO THE EXTERIOR.
 - 2. PROPERLY INSTALLED & SECURED EXPANSION TANKS.
 - 3. BACKFLOW PREVENTER
- S. INSPECT & REPAIR/REPLACE INDIVIDUAL UNIT WATER SHUT-OFF VALVES IN LOCATIONS THAT ARE ACCESSIBLE TO THE TENANT & ADD LABELS.
- T. REPLACE SINKS & FAUCETS IN ALL KITCHENS AND BATHROOMS.
- U. REPLACE INTERIOR DOORS AS PER MATRIX - APPROXIMATELY 57 UNITS
- V. REPLACE VINYL COATED WIRE SHELVING AS PER MATRIX - APPROXIMATELY 40 UNITS
- W. HC UNITS:
 - 1. ADD ROUNDED CORNERS TO HC UNITS.
 - 2. ALL DOOR LOCKS TO BE PUSH-BUTTON (THUMB-TURN FOR DEADBOLT OK).
 - 3. REMOVABLE CABINETS IN BATHROOM SHALL HAVE A DRAWER BASE ADJACENT TO THE TUB FOR INCREASED MANEUVERABILITY.
 - 4. POSSIBLY-USE FOLD-UP-SIDE GRAB BAR.
 - 5. CONTROLS NEAR SEAT OF ROLL-IN SHOWER.
 - 6. SPOUT & CONTROLS OF TUB/SHOWER OFFSET.
 - 7. STEP-IN SHOWER AT SECOND BATH IN HC.
- X. ENSURE 100SI MAKE UP AIR TO LAUNDRY CLOSET. MAY NEED TO ADD VENT.
- Y. ENSURE NO FOREIGN OBJECTS ARE IN ANY ELEC. PANEL ENCLOSURES.
- Z. UNIT ENTRY LIGHT MUST BE LOW-PROFILE (PROTRUDES 4")
- AA. MECH CLOSETS SHALL HAVE A SINGLE CYLINDER DEADBOLT, ACCESSIBLE ONLY TO MAINTENANCE (NO DOORKNOB & NOT ACCESSIBLE TO TENANT).

PROJECT INFORMATION	
PROJECT DESCRIPTION	
REHABILITATION AND RENOVATION OF 72 TWO-STORY EXISTING APARTMENT UNITS IN 9 BUILDINGS; COMMUNITY BUILDING WITH: LAUNDRY, LEASING OFFICE, AND MAINTENANCE; NEW PICNIC PAVILION; DUMPSTER ENCLOSURES; MONUMENT ENTRANCE SIGN; AND OTHER COMMON AREAS AND SITE AMENITIES OF SOUTHVUE GREEN APARTMENTS IN HOPE MILLS, NC.	
SITE INFORMATION	
TOTAL ACREAGE: 7.37± ACRES	
PARKING TABULATION:	
TOTAL ON SITE: 147 SPACES	
HC PARKING: SPACES FOR 18 HC UNITS (18 SPACES)	
HC VISITOR PARKING: (1 SPACE)	
165 STANDARD SPACES: (19 TOT. HC SPACES)	
UNIT TYPES	
2BR	1BR/1BA (STANDARD)
2BR-HC	1BR/1BA (ANSI TYPE 'A' GROUND FLOOR ACCESSIBLE)
2BR-HCS	1BR/1BA (ANSI TYPE 'A' w/ ROLL-IN SHOWER, GROUND FLOOR ACCESSIBLE)
3BR	3BR/2BA (STANDARD)
3BR-HC	3BR/2BA (ANSI TYPE 'A' GROUND FLOOR ACCESSIBLE)
3BR-HCS	3BR/2BA (ANSI TYPE 'A' w/ ROLL-IN SHOWER, GROUND FLOOR ACCESSIBLE)

SCOPE OF WORK FOR BUILDING EXTERIOR IMPROVEMENTS:

- A. REPLACE EXTERIOR SIDING w/ VINYL & INSPECT FOR WATER INFILTRATION.
- B. REPAIR EXISTING FASCIA & BAND BOARD & INSPECT FOR WATER INFILTRATION.
- C. REPAIR & REPLACE THE SOFFIT AS NEEDED.
- D. REPLACE OUTSIDE CORNER POSTS.
- E. REPLACE ROUND COLUMNS w/ SQUARE COLUMNS (PT 6x6 w/ PREFINISHED ALUMINUM COLUMN WRAP).
- F. REPLACE PORCH RAILS w/ VINYL RAILING.
- G. ADD FLASHING ON ALL DECK LANDINGS.
- H. REPLACE ROTTING WOOD ON ALL PORCH BALCONIES.
- I. REPLACE WINDOWS.
- J. REPLACE ALL ROOFS.
- K. REPAIR ALL ROOF FLASHING AS NEEDED.
- L. REPLACE BRICK TO SIDING FLASHING.
- M. REPLACE EXTERIOR LIGHTING ON BUILDINGS.
- N. ADD CAMERAS FOR SECURITY.
- O. REMOVE & REPLACE BUILDING SIGNAGE w/ ANSI TYPE (RAISED LETTERS, BRAILLE, ETC.)
- P. REPAIR CRACKS IN BREEZEWAY CONCRETE & RESURFACE.
- Q. REPAIR OR REPLACE ALL GUTTERS & DOWNSPOUTS.
- R. REPLACE EXTERIOR DOORS. ADD PVC BRICK MOLD TRIM.
- S. SANDBLAST, TREAT, PRIME, & PAINT UNDERSIDE OF BREEZEWAY STEEL DECK TO REMOVE RUST.
- T. REFRAME SECOND FLOOR BREEZEWAYS TO REMOVE RAILING w/ KNEE-WALL (43" HIGH).
- U. REPLACE DAMAGED GABLE VENTS w/ ONES w/ INTEGRAL INTERIOR SCREENS.
- V. REPAINT ALL WOOD SURFACES.
- W. ADD DRAIN TO REMOVE STANDING WATER IN BREEZEWAYS IF NOTED.

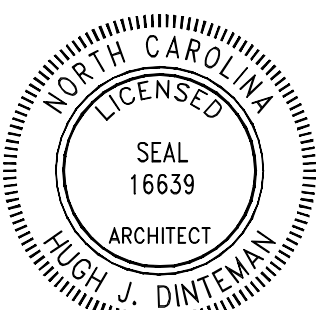
DRAWING INDEX			
ARCHITECTURAL			
SHEET #	SHEET TITLE	REVISIONS	DATE
A-0.00	COVER SHEET		4-24-25
A-0.01	NCHFA DESIGN GUIDELINES		4-24-25
A-0.02	HANDICAPPED NOTES AND DETAILS		4-24-25
A-0.03	SITE PLAN		4-24-25
A-0.04	NOTES AND SCHEDULES		4-24-25
A-1.01	BUILDING PLANS		4-24-25
A-1.02	COMMUNITY BUILDING PLANS		4-24-25
A-1.03	SITE AMENITIES		4-24-25
A-2.01	STANDARD UNIT PLANS		4-24-25
A-2.02	HC UNIT PLANS		4-24-25
A-2.03	HC UNIT w/ SHOWER PLANS		4-24-25
A-2.04	INTERIOR ELEVATIONS & DETAILS		4-24-25
A-3.01	BUILDING ELEVATIONS		4-24-25
A-3.02	BUILDING #200 ELEVATIONS		4-24-25
A-3.03	BUILDING #300 ELEVATIONS		4-24-25
MECHANICAL			
M-0.01	MECHANICAL LEGEND AND NOTES		4-24-25
ELECTRICAL			
E-0.01	ELECTRICAL LEGENDS AND ABBREVIATIONS		4-24-25
E-2.01	ELECTRICAL PLANS		4-24-25
PLUMBING			
P-0.01	PLUMBING NOTES & SCHEDULES		4-24-25

A vicinity map showing the project location. The map includes major roads such as Highway 101, Highway 1, and Highway 2. A large body of water, likely a reservoir or lake, is visible in the upper left. The project site is marked with an asterisk and the word "SITE". Other labeled areas include "SOUTH VIEW" and "LAKEVIEW". The map also shows various smaller roads and local landmarks.

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DRAWN BY	HJD
JOB #	24-002

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COVER SHEET

A-0.00

NOT RELEASED FOR CONSTRUCTION

Southview Green Apts.
Rehabilitation
33143 Round Grove Place
Hope Mills, North Carolina 28348

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PROJECT PROMISES (FROM APPENDIX B OF THE NORTH CAROLINA 2024 QAP)		
SOUTHVIEW GREEN - FAYETTEVILLE, NC		
STANDARD	LOCATION	CHECK
II. BUILDING AND UNIT DESIGN PROVISIONS		
A. EXTERIOR DESIGN AND MATERIALS		
1. DIFFERENT ROOF PLANES BREAK UP THE ROOF LEVELS. WIDE DOOR AND WINDOW TRIM PROVIDED. WHERE HORIZONTAL BREEZEWAY IS USED BETWEEN FLOOR SPACES, SEPARATE COLOR TONES ARE USED FOR UPPER AND LOWER LEVELS.	A-3.01-A-3.04	
2. EXTERIOR FINISHES ARE LOW OR NO MAINTENANCE MATERIALS - ETHER BRICK, FIBER CEMENT, OR HIGH QUALITY VINYL Siding. VINYL SHALL BE .044" THICKNESS OR GREATER, WITH LIMITED LIFETIME WARRANTY.	A-3.01-A-3.04 SPEC 07465	
WHERE BAND BOARDS ARE ATTACHED TO AND ARE PART OF THE VINYL Siding APPLICATION, 2 FLASHING IS INSTALLED BEHIND, ON TOP OF, AND BELOW BANDS.	5/A-6.04	
3. EXTERIOR TRIM IS CONSTRUCTED OF LOW OR NO MAINTENANCE MATERIALS.	A-3.01-A-3.04	
4. SEAMLESS GUTTERS AND ALUMINUM DRIP EDGE PROVIDED ON ALL GABLE EAVES AND FASCIA. DRIP EDGE MUST EXTEND 2 INCHES MINIMUM UNDER THE SHINGLES.	A-3.01-A-3.04; 1-3/A-6.05	
DOWNSPOUTS MUST BE INSTALLED SO AS NOT TO DRAIN ACROSS PEDESTRIAN PATH OF TRAVEL.	SEE CIVIL	
5. MINIMUM 12" BRICK VENEER EXPOSED ABOVE FINISH GRADE AND LANDSCAPING AT ALL BUILDING FOUNDATIONS.	A-3.01-A-3.04	
6. BREEZEWAYS AND STAIRWELL CEILINGS CONSTRUCTED OF EXTERIOR RATED MATERIALS.	1/A-5.03, A-5.04	
7. A MINIMUM 48-INCH PATH OF TRAVEL IS REQUIRED THROUGH BUILDING BREEZEWAYS.	A-2.04-A-2.05	
8. BUILDINGS AND UNITS IDENTIFIED WITH CLEARLY VISIBLE SIGNAGE AND NUMBERS THAT ARE WELL LIT FROM DUSK TILL DAWN.	A-0.04, E-1.01-E-1.03	
9. AN ACCESSIBLE AUTOMATIC DOOR OPERATOR IS REQUIRED FOR THE PRIMARY ENTRANCE INTO AND OUT OF EXTERIORLY CONCREGATE BUILDINGS.	N/A	
10. EXTERIOR STAIRS MUST HAVE A MINIMUM CLEAR WIDTH OF 40 INCHES BETWEEN HANDRAILS AND BE COMPLETELY FLAT ON THE ROOF COVER.	A-2.04-A-2.05	
11. EXTERIOR RAILINGS MADE OF VINYL, ALUMINUM, OR STEEL (NO WOOD).	A-2.04-A-2.05; A-5.04	
12. ANTI-FUNGAL DIMENSIONAL ARCHITECTURAL SHINGLES WITH A MINIMUM 30-YEAR WARRANTY ARE REQUIRED FOR ALL SHINGLE ROOF APPLICATIONS.	A-3.01-A-3.04	
13. COVERED DROP-OFFS HAVE A MINIMUM 13 FOOT VEHICLE HEADROOM CLEARANCE.	N/A	
14. IN VINYL Siding APPLICATIONS ALL EXTERIOR PENETRATIONS MUST BE INSTALLED IN PLASTIC J-BONES/MASTER MOUNT SYSTEM.	SPEC 07465	
15. WEEP HOLES MUST BE BELOW FINISHED SLAB ELEVATION AND NOT COVERED WITH SOG. FINISH PAVED GRADE OR LANDSCAPING.	7/A6.03	
16. ALL PROPERTY ENTRANCES MUST HAVE A MONUMENT SIGN WITH BRICK OR STONE COLUMNS AND LIGHTING.	A-0.03, 6/A-1.05	
17. ALL HVAC CONDENSATE DRAIN LINES MAY NOT DRAIN ON BRICK VENEER OR Siding MATERIALS.	M-0.01	
18. EXTERIOR HALLWAYS, CORRIDORS OR BREEZEWAYS AND INTERIOR HALLWAYS AND CORRIDORS MAY NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.	A-2.04, A-2.05, A-5.04	
19. THE AGENCY WILL NOT APPROVE ANY FOUR-STORY RESIDENTIAL BUILDINGS WITHOUT AN ELEVATOR WHERE PARKING IS ONLY PROVIDED ON THE 1 ST FLOOR.	N/A	
B. DOORS AND WINDOWS		
1. ALL PRIMARY UNIT ENTRIES MUST EITHER BE WITHIN A BREEZEWAY OR HAVE A MINIMUM ROOF COVERING OF 3 FEET DEEP BY 5 FEET WIDE, INCLUDING A CORRESPONDING PORCH OR CONCRETE PAD.	A-1.01-A-1.03	
2. HIGH DURABILITY, INSULATED STEEL OR FIBERGLASS DOORS PROVIDED AT ALL EXTERIOR LOCATIONS.	A-0.04	
SINGLE LEVEL DEARINGS AND EYE VIEWERS ON ALL RESIDENTIAL UNIT ENTRY DOORS.	A-0.04	
3. EXTERIOR DOORS FOR FULLY ACCESSIBLE (TYPE A7) UNITS PROVIDED WITH SPRING HINGLES.	A-0.04	
4. INSULATED, DOUBLE PANE VINYL WINDOWS MEETING CURRENT NORTH CAROLINA MODEL ENERGY CODE ARE REQUIRED FOR NEW CONSTRUCTION AND REHABILITATION PROJECTS IF REPLACING WINDOWS). WINDOW U-VALUE SHALL BE 0.30 OR LESS. WINDOW SHGc SHALL BE 0.27 OR LESS.	A-0.04	
5. NO WINDOWS LOCATED OVER TUB OR SHOWER UNITS.	A-2.01-A-2.03	
6. A CONTINUOUS BEAD OF SILICONE CAULK IS INSTALLED BEHIND ALL FIN FINE BEFORE INSTALLING NEW VINYL WINDOWS PER MANUFACTURER'S SPECIFICATIONS.	A-6.01	
C. INTERIOR DESIGN AND MATERIALS		
1. 1 BEDROOM UNITS HAVE 660 SQ.FT. (OR GREATER) HEATED AREA AS MEASURED AT INTERIOR WALL FACES, AND 2 BEDROOM UNITS HAVE 900 SQ.FT. 3 BEDROOM UNITS HAVE 1100 SQ.FT. (OR GREATER) HEATED AREA AS MEASURED AT INTERIOR WALL FACES.	A-0.00	
2. ALL UNITS (EXCEPT FOR SRO, STUDIO, AND EFFICIENCY UNITS) HAVE A SEPARATE DINING AREA.	A-2.01-A-2.03	
3. NEWLY CONSTRUCTED RESIDENTIAL UNITS MUST HAVE AN EXTERIOR STORAGE CLOSET (INTERIOR COMMON AREA ONLY) FOR CONGREGATE WITH A MINIMUM OF 6 UNOBSSTRUCTURED SQUARE FEET. THE SQUARE FOOTAGE UTILIZED BY A WATER HEATER IN THE EXTERIOR STORAGE CLOSET MAY NOT BE INCLUDED IN THE 6 SQUARE FOOT CALCULATION. STORAGE CLOSETS MAY NOT HAVE AN DIMENSION SMALLER THAN 36 INCHES IN WIDTH OR DEPTH.	A-2.01-A-2.03	
4. CARPET AND PAD MEETS THE MINIMUM STANDARDS. "TYPE A" UNIT CARPET SHALL BE GLE-DOWN TYPE W/JO PADDOING	SPEC 09865-1.05	
5. KITCHENS, DINING AREAS AND ENTRANCE AREAS HAVE VINYL, VCT OR OTHER NON-CARPET FLOORING.	A-0.04	
6. NO INTERIOR HALLWAY IN RESIDENTIAL UNITS IS LESS THAN 42".	A-2.01-A-2.03	
7. FOR NEW CONSTRUCTION, INTERIOR DOORS MUST BE CONSTRUCTED OF TWO, FOUR OR SIX PANEL HARBORBOARD, SOLID CORE BIRCH OR SOLID CORE LAMIN. NO HOLLOW CORE, FLAT PANEL DOORS.	A-0.04 SPEC 08200-2.01	
8. INTERIOR DOORS MUST HAVE A MINIMUM OF THREE (3) HINGES.	A-0.04	
9. NO 90-DEG. POCKET, LOUVERED OR BY PASS DOORS.	A-0.04	
10. RESIDENTIAL FLOORS AND COMMON TENANT WALLS MUST HAVE SOUND INSULATION BATT'S.	2&3/A-5.02; 2,6&7/A-6.04	
11. BEDROOM CLOSETS, INTERIOR STORAGE ROOMS, COAT CLOSETS, AND LAUNDRY ROOMS/CLOSETS MUST HAVE A 4" x 8" MIN. PASS-THRU GRILLE ABOVE DOORS FOR AIR CIRCULATION IN THOSE AREAS THAT DO NOT GET CONDITIONED. CLOSETS OR ROOMS DEEPER THAN 48" MUST BE SERVED BY HEATING AND COOLING SYSTEMS WITH ITS OWN SUPPLY DIFFUSER.	M-2.01-M-2.03	
12. ALL INTERIOR DOORS HAVE A MINIMUM 1" UNDERCUT (AS MEASURED FROM FINISH FLOOR) FOR AIR CIRCULATION.	A-0.04	
13. ALL INTERIOR EXTERIOR MECHANICAL STORAGE CLOSETS HAVE FINISHED FLOOR COVERINGS. INTERIOR CLOSETS HAVE EITHER CARPET, SHEET VINYL OR VCT FLOORING. EXTERIOR STORAGE CLOSETS MAY HAVE SEALED, PAINTED CONCRETE FLOORS.	A-0.04	
14. SIGNAGE FOR DESIGNATED COMMON AREAS AND ALL UNITS MUST BE IN BRaille AND MEET ANSI A117.1, SECTION 703 STANDARDS.	A-0.04	
15. THE FOLLOWING AREAS SHALL HAVE MOISTURE RESISTANT DRYWALL CEILINGS AND WALLS OF BATHROOMS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS AND BEHIND KITCHEN SINK BASE.	A-0.04	
16. ONE ELEVATOR MUST BE PROVIDED FOR EVERY 60 UNITS/BUILDING	N/A	
17. ALL INTERIOR STAIR HANDRAILS MUST BE MOUNTED ON A CONTINUOUS WOOD BACKER BOARD.	N/A	
18. ACCESSIBLE CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED TO BE REMOVABLE WITH ONLY A SCREWDRIVER.	N/A	
19. SHOE MOLING MUST BE INSTALLED IN AREAS WHERE GLE-DOWN OR LAMINATE FLOORING IS INSTALLED.	A-0.04, 15/A-6.04	
20. IN ALL TYPE A UNITS, A 6" MINIMUM TURNING RADIUS IS REQUIRED IN ALL USABLE AREAS OF THE KITCHEN, IN ACCESSIBLE BATHROOM, IN LAUNDRY ROOMS, AND IN CLOSETS THAT EXCEED 48" IN DEPTH.	A-2.01-A-2.03	
21. ALL INTERIOR COMMON AREAS, HALLWAYS, AND ENCLOSED CORRIDORS MUST BE SERVED BY HEATING AND COOLING SYSTEMS.	M-2.01-M-2.03	
22. SEAL ALL PENETRATIONS THROUGH WALLS AND CEILING WITH APPROPRIATE AND LIKE SEALANTS TO PREVENT MOISTURE AND AIR LEAKAGE.	SPEC APPENDIX "D"	
23. ALL TYPE A HANDICAP UNITS MUST BE PROPORTIONATELY DISTRIBUTED TO ALL BUILDINGS AND ON ALL ACCESSIBLE FLOOR LEVELS.	A-1.01-A-1.03	
24. EVERY PART OF RESIDENTIAL UNITS AND IN ALL ROOMS IN CONGREGATE BUILDINGS MUST HAVE FINISHED WALLS, FLOORS AND CEILINGS. THIS INCLUDES STORAGE ROOMS, MECHANICAL CLOSETS, ELECTRICAL ROOMS, ELEVATOR ROOMS, ETC.	A-0.04	
25. ALL HVAC MECHANICAL EQUIPMENT AND WATER HEATERS MUST BE INSTALLED IN A DEDICATED MECHANICAL CLOSET WITH A 30" x 40" DOOR. MAY NOT BE INSTALLED IN CLOSETS OR ROOMS USED FOR ANY OTHER PURPOSE.	A-2.01-A-2.03	
26. BUILDING BREEZEWAYS, HALLWAYS OR CORRIDORS MAY NOT HAVE STEPS OR INCLINED WALKING SURFACES OVER 2% RUNNING SLOPE OR CROSS SLOPE.	A-2.04, A-2.05	
D. BEDROOMS		
1. PRIMARY BEDROOMS ARE AT LEAST 130 SQ.FT., EXCLUDING CLOSETS.	A-2.01-A-2.03	
2. SECONDARY BEDROOMS ARE AT LEAST 110 SQ.FT., EXCLUDING CLOSETS.	A-2.01-A-2.03	
3. EVERY BEDROOM PROVIDED WITH A CLOSET WITH A SHELF, CLOSET ROD, AND DOOR. THE AVERAGE SIZE OF BEDROOM CLOSETS IS AT LEAST 1 LINEAR FEET.	A-2.01-A-2.03	
4. IN TYPE A UNITS, A CALL FOR AID STATION HARD-WIRED TO EXTERIOR HORN/STROBE IS REQUIRED IN ALL BEDROOMS.	E-2.01-E-2.03	
E. BATHROOMS		
1. A KESSED MEDICINE CABINET MUST BE INSTALLED IN EVERY FULL BATHROOM IN EACH RESIDENTIAL UNIT. A GLASS DOOR ON THE MEDICINE CABINET MAY NOT HAVE SHARP EDGES THAT MAY CAUSE BODY INJURY.	A-2.01-A-2.03	
2. THE AVERAGE SIZE OF ALL VANITIES IN EACH UNIT TYPE MUST BE AT LEAST 30". TYPE A UNITS MUST HAVE A CODE COMPLIANT REMOVABLE VANITY BASE BELOW SINK FOR STORAGE. FLOORS & WALLS UNDER VANITIES MUST BE FINISHED. REMOVAL OF BASES MUST BE DONE WITH A SCREWDRIVER ONLY. VANITIES WITH REMOVABLE FRONTS MUST BE MANUFACTURED SUCH THAT PURPOSE. THE AGENCY WILL NOT ALLOW FIELD ALTERED VANITIES. ALL VANITY COUNTERTOPS MUST BE INSTALLED 31" MIN. - 36" MAX. WALL HUNG SINKS ARE NOT ALLOWED IN RESIDENTIAL UNITS.	A-2.01-A-2.03	
3. MIRRORS IN BATHROOMS (LOW ENOUGH TO REACH COUNTER BACKPLASH).	A-2.01-A-2.03	
4. ALL FULL BATHROOMS HAVE AN OVERHEAD CEILING LIGHT AND EXHAUST FAN ON THE SAME SWITCH. VANITY LIGHTS IF PROVIDED ARE ON A SEPARATE SWITCH.	E-2.01-E-2.03	
5. ALL BATHROOMS MUST INCLUDE AN EXHAUST FAN BATH AT 70 CFM (MINIMUM) VENTED TO THE EXTERIOR OF THE BUILDING USING HARD DUCTWORK ALONG THE SHORTEST RUN POSSIBLE. BATH FANS MAY ONLY BE INSTALLED IN CEILINGS.	M-2.01-M-2.03	
6. ALL NEW CONSTRUCTION AND ADAPTIVE RE-USE PROJECTS MUST COMPLY WITH GAP SECTION 10(F)(1) AND APPENDIX B SECTION VII REGARDING ADDITIONAL TYPE A BATHROOMS, INCLUDING ROLL IN SHOWERS. ALL ROLL IN SHOWERS MUST HAVE A COLLAPSIBLE WATER PAD OR REVELED THRESHOLD THAT MEETS CODE. ALL ROLL IN SHOWERS MUST HAVE A FLAT, USABLE MINIMUM FLOOR SPACE OF 36" x 60" AND HAVE AN ADJUSTABLE SHOWER ROD AND WEIGHTED CURTAIN INSTALLED BEFORE OCCUPANCY. SHOWER FLOOR MAY NOT BE USED FOR CODE REQUIRED ROLL IN BATHROOMS.	A-2.01-A-2.03	

STANDARD	LOCATION	CHECK
E. BATHROOMS (CONTINUED)		
7. APPROACHES TO ROLL IN SHOWERS MUST BE LEVEL, NOT SLOPED.	A-0.02, A-2.01-A-2.03	
8. ALL DOMESTIC WATER LINE OUT OFF VALVES HAVE METAL HANDLES.	SPEC 15400-2.07H	
9. IN ALL TYPE A UNITS, THE GRAB BARS MUST BE INSTALLED PER ANSI A117.1 SPECIFICATIONS AROUND TOILETS AND IN THE TUB/SHOWER. IN ROLL IN SHOWERS THE SHOWER HEAD AND HAND MUST BE INSTALLED ON A SLIDING BAR AND WITHIN CODE REQUIRED REACH RANGES BY THE SEAT. AN ADDITIONAL OVERHEAT MUST BE INSTALLED TO PROVIDE WATER TO A SHOWER HEAD ON THE SHORT SHOWER WALL IN FRONT OF THE SEAT, MOUNTED 84" ABOVE FINISHED FLOOR.	A-0.02, A-2.01-A-2.03	
10. IN TYPE A UNITS, A CALL FOR AID STATION HARD-WIRED TO EXTERIOR HORN/STROBE IS REQUIRED IN ALL BATHROOMS.	A-0.02, E-2.01-E-2.03	
11. OFFSET TOILET FLANGES ARE PROHIBITED.	SPEC 15400-2.09F1	
12. WOOD BLOCKING MUST BE INSTALLED FOR BATHROOM ACCESSORIES, INCLUDING TOILET BARS, TOWEL RINGS, TOILET TISSUE HOLDERS, ROBE HOOKS, ETC.	A-2.01-A-2.03	
13. IN TYPE A UNITS, THE 67" CLEAR FLOOR SPACE MAY NOT INCLUDE FLOOR SPACES UNDER TOILETS OR VANITIES.	A-2.01-A-2.03	
F. KITCHENS		
1. NEW CABINETS MUST INCLUDE DUAL SIDE TRACKS ON DRAWERS, DOOR FRONTS, STILES, AND DRAWER FRONTS MUST BE MADE WITH SOLID WOOD OR WOOD/PLASTIC VENEER PRODUCTS. PARTICLE BOARD OR HARBORBOARD DOORS, STILES, AND DRAWER FRONTS ARE PROHIBITED.	SPEC 11460-2.01	
2. MINIMUM AISLE WIDTH OF 42" BETWEEN CABINETS AND/OR APPLANCES IN KITCHENS.	A-2.01-A-2.03	
3. A PANTRY CABINET OR CLOSET IN OR NEAR EACH KITCHEN MUST BE PROVIDED (DOES NOT INCLUDE SRO, STUDIO OR EFFICIENCY UNITS). PANTRY CABINET OR CLOSET DOOR MUST BE 24" MIN. WIDTH & DEPTH. SHELVING MUST BE 20" DEEP MIN.	A-2.01-A-2.03	
4. ALL RESIDENTIAL UNITS MUST HAVE EITHER A DRY CHEMICAL FIRE EXTINGUISHER MOUNTED & READILY VISIBLE & ACCESSIBLE IN EVERY KITCHEN, INCLUDING KITCHEN IN COMMUNITY BUILDINGS IF PRESENT. AN AUTOMATIC FIRE SUPPRESSION CANISTER MOUNTED IN EACH KITCHEN MUST BE INSTALLED IN FULLY ACCESSIBLE (TYPE A7) UNITS & OTHER SIDE OF EITHER SIDE OR NORTH/SIDE OF BUILDING.	SPEC 10520-2.01 A2.8	
5. RESIDENTIAL KITCHENS HAVE COUNTERTOP w/ MIN. 8" IF FOR A 1 BEDROOM UNIT, 10" IF FOR A 2 BEDROOM UNIT, 11" IF FOR A 3 BEDROOM UNIT, 8.13 IF FOR A 2 BEDROOM UNIT. THIS DIMENSION EXCLUDES SINK & RANGE SPACE, & ONLY INCLUDES COUNTERTOP AT 36" OR BELOW. AND TOP MAY NOT BE COUNTED.	A-2.01-A-2.03	
6. ALL RESIDENTIAL UNITS HAVE A FROST-FREE, ENERGY STAR RATED REFRIGERATOR w/ A FREEZER COMPARTMENT. WATERICE DISPENSER ROUGH-IN BOXES MUST BE INSTALLED WITH COLD WATER SUPPLY LINE IN THE WALL. IF PROVIDED, WATERICE DISPENSER MUST BE CONNECTED TO COLD WATER. REFRIGERATION IN FULLY ACCESSIBLE (TYPE A7) UNITS & OTHER SIDE OF EITHER SIDE OR NORTH/SIDE OF BUILDING. REFRIGERATION DOORS CAN OPEN BEYOND 90 DEGREES FOR BIN REMOVAL. FOR 1 & 2 BEDROOM UNITS, MIN. SIZE 14 CU.FT., 16 CU.FT. MIN. FOR 3 BEDROOM UNIT, & 18 CU. FT. MIN. FOR 4 BEDROOM UNITS.	A-0.04	
7. ALL RESIDENTIAL UNITS MUST HAVE AN ENERGY STAR RATED DISHWASHER AND BE INSTALLED BEHIND THE KITCHEN SINK.	A-0.04 & A-2.01-A-2.03	
8. ALL RESIDENTIAL UNITS MUST HAVE A MINIMUM 33 INCHES WIDE DOUBLE BOWL KITCHEN SINK.	A-2.01-A-2.03	
9. ALL HANDICAP (TYPE "A") KITCHENS SINKS ARE REAR-DRAINING, AND SINK BOTTOMS ARE INSULATED IF BOTTOM OF SINK IS AT OR BELOW 29" ABOVE FINISHED FLOOR.	P-0.01	
10. ALL HANDICAP (TYPE "A") KITCHENS HAVE WORKSTATIONS MUST BE INSTALLED BEHIND THE RANGE WITH NO WALL TO THE LEFT OR RIGHT OF THE WORKSTATION (NO PULL-OUT WORKTOPS).	A-2.01-A-2.03	
REMOVABLE FRONTS ARE REQUIRED ON ACCESSIBLE SINK BASE CABINETS AND WORK STATION CABINETS. FLOORS & WALLS UNDER SINK BASE & WORK STATION MUST BE FINISHED. REMOVAL OF DOOR FRONTS MUST BE DONE WITH A SCREWDRIVER ONLY. CABINETS WITH REMOVABLE FRONTS MUST BE MANUFACTURED FOR THAT PURPOSE. THE AGENCY WILL NOT ALLOW FIELD-ALTERED VANITIES. CUTTING SIDE PANELS, CABINET BOTTOMS ON BACKS & REMOVAL OF PLUMBING PIPES AND/OR ELECTRICAL WIRES WILL NOT BE ALLOWED.	A-2.01-A-2.03	
WALL CABINETS ARE LOCATED ABOVE WORKSTATIONS, AND TOP OF BOTTOM SHELF OF WALL CABINETS IS 48" OR LESS.	A-2.01-A-2.03	
ALL HANDICAP (TYPE "A") KITCHENS BOTH THE RANGE HOOD FAN AND LIGHT HAVE REMOTE SWITCHES.	E-2.01-E-2.03	
ALL HANDICAP (TYPE "A") PANTRY CABINETS/CLOSETS MUST HAVE 30" x 52" CLEAR FLOOR SPACE CENTERED ON THE DOOR.	A-2.01-A-2.03	
10. IN TYPE A UNITS AND COMMON AREAS, KITCHEN RANGES WITH COOKTOP CAN BE NO HIGHER THAN 34" ABOVE FLOOR.	SPEC 11450-3.02	
11. ANTI-TIP DEVICES MUST BE INSTALLED ON ALL KITCHEN RANGES AND BE SECURELY FASTENED TO THE FLOOR. WALLS BEHIND OR DIRECTLY BEHIND RANGES MUST BE COVERED WITH A SPLASH PANEL. THE PANEL SHOULD SPAN FROM THE RANGE TO THE HOOD AND BE PLASTIC, LAMINATE OR ALUMINUM. RANGES MUST BE INSTALLED TO 18" FLUSH TO THE WALL. RANGE COORD RECEPTACLES MUST BE RECESSED IN THE WALL BEHIND THE RANGE.	A-2.01-A-2.03	
12. BASE AND SHOE MOLING MUST BE INSTALLED BEHIND ALL RANGES AND REFRIGERATORS. NO EXPOSED SUBFLOOR SHOULD BE VISIBLE BETWEEN FLOORING PRODUCTS AND JOISTS OF CABINETS AND WALLS.	A-0.04	
13. ALL KITCHEN CABINET COUNTERTOPS MUST BE INSTALLED 33" MIN. - 36" MAX. KITCHEN COUNTERTOPS MAY NOT PROTRUDE INTO ENTRANCES OR HALLWAYS.	A-2.01-A-2.03	
G. LAUNDRY ROOM CLOSETS		
1. IF PROVIDING LAUNDRY ROOMS, A LAUNDRY ROOM CLOSET IS REQUIRED WHEN MUST HAVE A 4" MIN. DEPTH MEASURED FROM BACK WALL TO BACK OF CLOSET DOORS, MUST ACCOMMODATE A FULL-SIZED (27-30") CLOTHES WASHER & DRYER ADJACENT TO EACH OTHER, & CANNOT BE DESIGNED FOR "STACKED" APPLIANCES.	A-2.01-A-2.03	
2. DRYER VENT CONNECTION BOX MUST BE GALVANIZED METAL & 2" MAX. A.F.F.	M-0-1	
3. WASHER WATER SHUTOFF VALVES ARE INSTALLED RIGHT SIDE UP WITH THE HOSE CONNECTION BELOW THE SHUTOFF HANDLE.	P-0.01	
4. IN TYPE A & TYPE B UNITS, EA. CLOTHES WASHER & DRYER MUST BE CENTERED FOR A SIDE APPROACH ONLY IN A 52" FLOOR SPACE (CFS) AREA. THE WASHER & DRYER CFS AREAS MAY OVERLAP. THE CFS AT EA. APPLANCE MAY NOT USE DOOR OPENINGS OR THE ABILITY TO REMOVE LAUNDRY FOLDING CLODS IN ACHIEVING THE REQUIRED PANELS) APPROACH CFS. ALL ELECTRICAL, PLUMBING, & VENTING ROUGH-IN MUST BE CENTERED BEHIND EA. WASHER & DRYER.	A-2.01-A-2.03	
5. LAUNDRY ROUGH-INS OR EQUIPMENT MAY NOT BE INSTALLED IN BEDROOM CLOSETS OR IN NON-DOORED AREAS WITHIN A BATHROOM.	A-2.01-A-2.03	
H. PROVISIONS FOR ALL SENIOR HOUSING		
1. ALL SENIOR RESIDENTIAL UNITS MUST BE EQUIPPED WITH A HARD-WIRED CALL FOR AID STATION IN ALL BEDROOMS AND FULL BATHROOMS. THE AID STATION MUST BE WIRED TO AN EXTERIOR WARNING DEVICE WHICH CONSISTS OF A HORN/STROBE ALARM.	N/A	
2. LOOP "O" SHAPE HANDLES ON CABINET DOORS AND DRAWERS.	N/A	
3. EXHAUST VENTS AND LIGHTING ABOVE RANGES WIRED TO A REMOTE SWITCH NEAR THE RANGE IN AN ACCESSIBLE LOCATION.	N/A	
4. PROVIDE SOLID BLOCKING AT ALL TOILETS AND TUB/SHOWER UNITS FOR GRAB BAR INSTALLATION.	N/A	
5. MINIMUM 18" GRAB BAR PROVIDED IN ALL TUB/SHOWER UNITS. THE GRAB BAR IS INSTALLED CENTERED VERTICALLY AT 48" AFF ON THE WALL OPPOSITE THE CONTROLS.	N/A	
6. CORRIDORS IN COMMON AREAS HAVE A CONTINUOUS HANDRAIL ON BOTH SIDES MOUNTED 34"-38" AFF, & 1.25"-1.5" IN DIAMETER.	N/A	
7. ALL DOORS TO HABITABLE AREAS ARE MINIMUM 3'-0" IN WIDTH AND HAVE LEVER HARDWARE.	N/A	
8. HALLWAYS ARE A MINIMUM 42" IN WIDTH.	N/A	
9. MAXIMUM THRESHOLD HEIGHT AT ANY ENTRY DOOR IS 1/2".	N/A	
10. ANY SENIOR BUILDING WITH MORE THAN ONE FLOOR MUST CONTAIN A MINIMUM OF ONE ELEVATOR.	N/A	
I. PROVISIONS FOR SIGHT AND HEARING IMPAIRED UNITS ("A"/N) UNITS)		
2% OF THE TOTAL UNITS OR A MINIMUM OF ONE UNIT IS PROVIDED WITH "A"/N FEATURES.	A-0.00, A-0.02	
1. "A"/N UNITS ROUGHED IN TO ALLOW FOR SMOKE ALARMS WITH STROBE LIGHTS IN EVERY BEDROOM, BATHROOM, AND LIVING AREA.	A-0.02, E-2.01-E-2.03	
2. "A"/N UNITS HAVE A RECEPTACLE NEXT TO PHONE JACKS FOR FUTURE INSTALLATION OF TTY DEVICES.	A-0.02, E-2.01-E-2.03	
3. "A"/N UNITS ARE FULLY ACCESSIBLE (TYPE A7) UNITS.	A-0.00, A-0.02	
4. LIGHTED HARD-WIRED DOORBELL BUTTON CONNECTED TO A HORN/STROBE ALARM INSTALLED IN EACH BATHROOM, BEDROOM, AND COMMON AREA IS REQUIRED FOR EACH SIGHT AND HEARING IMPAIRED UNIT.	A-0.02, E-2.01-E-2.03	
III. MECHANICAL, SITE AND INSULATION PROVISIONS		
A. PLUMBING PROVISIONS		
1. ALL RENTAL UNITS REQUIRE AT LEAST ONE (1) FULL BATHROOM.	A-2.01-A-2.03	
2. THREE & FOUR BEDROOM UNITS REQUIRE AT LEAST 2 BATHROOMS (INCLUDING ONE BATH w/ STEP-IN SHOWER AND ONE BATH w/ FULL TUB).	A-2.03	
3. ALL TUBS AND SHOWERS MUST HAVE SLIP RESISTANT FLOORS.	A-0.04	
FOR NEW CONSTRUCTION PROJECTS, TUBS & SHOWERS MUST BE ONE-PIECE & HAVE A MIN. OUTSIDE DIM. OF 32"W x 60"L.	P-0.01	
4. ALL ELECTRIC WATER HEATERS (WHO) MUST HAVE UNIFORM ENERGY FACTOR OF >0.65 OR ENERGY FACTOR OF >0.95 & BE A MIN. OF 40-GAL 150-GAL MIN. FOR 3 BR & LARGER). THIS CANNOT BE ACHIEVED BY USING AN INSULATED WH. CANNOT BE INSTALLED UNDER PANS OR BEHIND WALLS, BUT MAY BE INSTALLED BEHIND THE AIR HANDLER, OR IN SEPARATE CLOSET.	P-0.01	
5. IN NEW CONSTRUCTION AND ADAPTIVE RE-USE PROJECTS, ALL WATER HEATER (WHO) TANKS MUST BE PLACED IN AN OVERFLOW PAN PIPED TO THE EXTERIOR OF THE BUILDING, REGARDLESS OF LOCATION & FLOOR LEVEL. MUST BE A MINIMUM 6" MINIMUM IS INSTALLED.	A-2.01-A-2.02, P-0.01	
WH MUST BE PLACED IN CLOSE TO CLOSET TO ALLOW FOR THEIR REMOVAL. INSPECTION IN OR THROUGH THE CLOSET DOOR. MAY NOT BE INSTALLED OVER THE CLOTHES WASHER OR DRYER SPACE, WH MAY NOT BE INSTALLED IN OVERHUNG STORAGE CLOSETS OR IN UNCONDITIONED SPACES.	A-2.01-A-2.02, P-0.01	
WH REQUIRED TO BE ELEVATED ABOVE THE FINISHED FLOOR MUST HAVE A WH STAND OR WOOD PLATFORM DESIGNED FOR THAT INSTALLATION AND BE PROFESSIONALLY ENGINEERED/PANTED.	A-2.01-A-2.02, P-0.01	
6. A FROST-PROOF EXTERIOR FAUCET MUST BE INSTALLED ON AN EXTERIOR WALL OF THE COMMUNITY/OFFICE BUILDING.	P-0.01	
7. ALL TUB/SHOWER CONTROL KNOBS ARE SINGLE LEVER HANDED AND OFFSET TOWARDS THE FRONT OF THE TUB / SHOWER.	A-2.01-A-2.03	
8. PROVIDE LEVER FAUCET CONTROLS FOR THE KITCHEN AND BATHROOM SINKS.	A-2.01-A-2.03	
9. ALL BATHROOM FAUCETS, SHOWER HEADS, AND TOILETS MUST BE EPA WATERSENSE RATED.	A-2.01-A-2.03	
10. DOMESTIC WATER LINES ARE NOT ALLOWED IN UNCONDITIONED SPACES, INCLUDING BREEZEWAYS & COMMUNITY BUILDING ATTICS.	A-2.01-A-2.03	
11. IN ALL TYPE A & TYPE B UNITS, TUBS & SHOWERS MUST HAVE MOLDED, BUILT-IN WOOD BLOCKING INSTALLED ON THE BATHING FUTURE.	A-2.01-A-2.03	
12. IN ALL TYPE A UNITS, THE TOILETS, TUBS, & SHOWERS MUST HAVE GRAB BARS INSTALLED. SEE ANSI A117.1 FOR MOUNTING HEIGHTS & LOCATIONS. THE GRAB BAR INSTALLED BEHIND THE TOILET MUST BE A MIN. OF 36" LONG.	A-2.01-A-2.03	

STANDARD	LOCATION	CHECK
A. PLUMBING PROVISIONS (CONTINUED)		
13. ALL PLUMBING PIPES MUST BE INSTALLED INSIDE WALL CAVITIES. CONNECTIONS TO WATER AND SEWER LINES MAY NOT BE MADE THROUGH FLOORS OR CABINET BOTTOMS.	P-0.01	
14. UNIT WATER SHUT-OFF VALVES MUST BE IN A WALL BOX w/ COV/COVER/LOCATED 16" - 48" ABOVE FLOOR & IN A REACHABLE LOCATION TO THE RESIDENT & BE CLEARLY MARKED w/ SIGNAGE.	P-0.01	
15. ALL WALL HUNG SINKS MUST HAVE SOLID BLOCKING BEHIND FIXTURE AND THE FIXTURE MOUNTED TO PLYWOOD RATHER THAN SHEETROCK. WALL HUNG SINKS MAY NOT BE INSTALLED IN RESIDENTIAL UNITS.	N/A	
16. STEP-IN SHOWERS (32" x 60" MIN. IN SENIOR PROPERTIES MAY BE INSTALLED IN 50% OF RESIDENTIAL UNITS, FOR FAMILY PROPERTIES, UNITS HAVING TWO FULL BATHROOMS MAY HAVE ONE STEP-IN SHOWER WHILE THE OTHER BATHROOM MUST HAVE A TUB/SHOWER FIXTURE. THE ABOVE GUIDANCE DOES NOT APPLY TO TYPE A UNITS.	P-1.01-P-1.02	
17. ALL BUILDINGS MUST HAVE A MINIMUM OF TWO HOSE BIBS ON A HOUSE METER.	P-1.01-P-1.02	
B. ELECTRICAL PROVISIONS		
1. AN OVERHEAD LIGHT, CEILING FAN, TELEPHONE JACK, AND CABLE CONNECTION IS PROVIDED IN EVERY BEDROOM AND LIVING ROOM. IF CEILING FAN HAS A LIGHT KIT, THE FAN AND LIGHT ARE SEPARATELY SWITCHED.	E-2.01-E-2.03	
2. WALK-IN CLOSETS (DEEPER THAN 36") HAVE SWITCHED, OVERHEAD LIGHTS.	E-2.01-E-2.03	
3. SWITCHES AND THERMOSTATS LOCATED NO MORE THAN 48" ABOVE FINISHED FLOOR HEIGHT.	A-0.02	
4. RECEPTACLES, TELEPHONE JACKS AND CABLE JACKS LOCATED NO LESS THAN 16" ABOVE FINISHED FLOOR HEIGHT.	A-0.02	
5. SWITCHED EXTERIOR LIGHTING IS REQUIRED AT EA. UNIT ENTRY DOOR FOR RESIDENT USE ON BUILDINGS w/ PORCHES & BREEZEWAYS.	E-2.01-E-2.03	
6. ADDITIONAL EXTERIOR LIGHTING FIXTURES NOT SPECIFIC TO A UNIT MUST BE WIRED TO A "HOUSE" PANEL. THE FIXTURES MUST BE ACTIVATED BY A PHOTO CELL PLACED ON THE EAST OR NORTH SIDE OF THE BUILDINGS.	E-1.01-E-1.03	
7. ALL EXTERIOR STAIRS HAVE LIGHT FIXTURES WIRED TO BUILDING "HOUSE" PANEL, ACTIVATED BY PHOTO CELL MOUNTED ON EAST OR NORTH/SIDE OF BUILDING.	E-1.01-E-1.03	
8. PROJECTS WITH GAS HEATING AND/OR APPLANCES MUST PROVIDE A HARD-WIRED CARBON MONOXIDE DETECTOR WITH A BATTERY BACK-UP IN EACH RESIDENTIAL UNIT.	N/A	
9. RESIDENTIAL AND NON-RESIDENTIAL SPACES HAVE SEPARATE ELECTRICAL SYSTEMS.	E-1.01-E-1.03	
10. INITIALLY-INSTALLED BULBS IN RESIDENTIAL UNITS AND COMMON AREAS ARE COMPACT FLUORESCENT, LED, OR PIN-BASED IN BOX OF ALL FIXTURES.	E-0.01	
11. ALL TELEPHONE LINES ARE TONED AND TAGGED PROPERLY TO EACH UNIT.	SPEC 16000-2.12	
12. ALL EXTERIOR STORAGE CLOSETS MUST HAVE A SWITCHED OVERHEAD LIGHT.	E-2.01-E-2.03	
13. ALL CALL FOR AID DEVICES MUST BE INSTALLED BESIDE OR BELOW CEILING LIGHT SWITCHES IN BEDROOMS AND BATHROOMS.	E-2.01-E-2.03	
14. EACH BUILDING MUST HAVE A CABLE TERMINATION AND DEMARCATION BOX FOR CABLE VENDOR CONNECTION.	E-2.01-E-2.03	
15. LIGHT SWITCHES IN BEDROOMS, BATHROOMS & CLOSETS MUST BE INSTALLED WITHIN 16" MAX. FROM LATCH SIDE OF CORRESPONDING DOOR.	E-2.01-E-2.03	
C. HEATING, VENTILATING AND AIR CONDITIONING PROVISIONS		
1. ALL NON-RESIDENTIAL AREAS AND RESIDENTIAL UNITS MUST HAVE THEIR OWN SEPARATE HEATING AND AIR CONDITIONING SYSTEMS. HVAC EQUIPMENT MUST HAVE A MINIMUM SEER 15.0 PERFORMANCE RATING.	M-1.03, M-2.01-M-2.03	
2. THRU-WALL HVAC UNITS ONLY OCCUR IN STUDIO, EFFICIENCY, AND SRO UNITS, AND IN LAUNDRY ROOMS AND MANAGEMENT OFFICES.	M-2.01-M-2.03	
3. HVAC INTERIOR AIR HANDLERS MUST BE ENCLOSED FROM RETURN AIR GRILLE TO BLOWER MOTOR/FILTER.	M-0.01,M-2.01-M-2.03	
4. THE USE OF DUCT BOARD IS PROHIBITED. GALVANIZED METAL MUST BE USED FOR PLenums AND MIXING BOXES.	M-0.01,M-2.01-M-2.03	
5. CONNECTIONS IN DUCT SYSTEM SEALED WITH MASTIC AND FIBERGLASS MESH.	M-0.01,M-2.01-M-2.03	
6. ALL OPENINGS IN DUCT WORK AT REGISTERS AND GRILLES MUST BE COVERED AFTER INSTALLATION TO KEEP OUT DEBRIS DURING CONSTRUCTION.	SPEC 15805-3.05	
7. FRESH AIR RETURNS LOCATED A MINIMUM OF 12" ABOVE THE FLOOR.	M-0.01	
8. ELECTRIC MECHANICAL CONDENSATE PUMPS NOT USED.	M-0.01	
9. SUPPLY DUCTS IN UNCONDITIONED ATTICS INSULATED WITH AN R-8 OR GREATER VALUE.	M-0.01	
10. RANGE HOODS & MICRO-HOODS MUST BE VENTED TO THE EXTERIOR OF THE BUILDING w/ 8" MIN. GALVANIZED SHEET METAL USING THE SHORTEST POSSIBLE RUN.	M-0.01,M-2.01-M-2.03	
11. ALL HUD DRAINS SERVING HVAC CONDENSATE LINES ARE PIPED TO THE OUTSIDE. THERE IS NO PIPING TO THE SANITARY SEWER UNLESS A PRIMED P-TAP IS INSTALLED.	M-0.01	
12. EXTERIOR EXHAUST VENTS MUST BE MECHANICALLY SECURED TO SIDS AND/OR BRICK VENEERS.	M-0.01,M-2.01-M-2.03	
13. VENTING FOR EXHAUST FANS MAY NOT TERMINATE IN ROOF SLOTTES.	M-0.01	
14. TOTAL DRYER VENT RUN MAY NOT EXCEED 35 FEET, INCLUDING DEDUCTIONS FOR ELBOWS.	M-0.01	
15. DRYER EXHAUST DUCTS, BATH EXHAUST FANS, AND RANGE HOOD FANS MAY NOT BE WENT THROUGH THE ROOF.	M-0.01,M-2.01-M-2.03	
16. CLOTHES WASHER AND DRYER CONNECTIONS MUST BE CENTERED BEHIND THE APPLIANCE.	M-0.01,M-2.01-M-2.03	
17. ALL UNITS 1,300 SQUARE FEET OR GREATER WHICH USE HEAT PUMPS MUST USE A MINIMUM OF 2 TON EQUIPMENT.	M-0.01,M-2.01-M-2.03	
18. HVAC SYSTEMS MUST PROVIDE OUTDOOR AIR INTO CONDITIONED BUILDING COMMON AREAS AND APARTMENT UNITS TO MEET ASHRAE 62.2 PER ENERGY STAR MULTIMULTIPLY CERTIFICATION REQUIREMENTS. THIS MUST BE DONE BY INTRODUCING FRESH AIR INTO RETURN AIR DUCT AT AIR HANDLER. THE FRESH AIR MUST BE FILTERED. THE USE OF ELECTRICAL CONTROL BOXES WITH MECHANICAL DAMPERS THAT LIMITS HUMIDITY AND TEMPERATURE EXTREMES MUST BE USED. FRESH AIR DUCTING MUST USE INSULATED GALVANIZED PIPING.	M-0.01,M-2.01-M-2.03	
D. BUILDING ENVELOPE AND INSULATION		
1. FRAMING ALLOWES FOR COMPLETE BUILDING INSULATION: INSULATED HEADERS ON ALL EXTERIOR WALLS, ROOF AND CEILING FRAMING ALLOWS FULL DEPTH OF CEILING INSULATION TO EXTEND OVER TOP PLATE OF EXTERIOR WALLS, WALL CORNERS AND INTERSECTIONS FRAMED TO ALLOW FOR INSULATION.	A5.7-A5.8	
2. ALL DOORS, WINDOWS, PLUMBING AND ELECTRICAL PENETRATIONS SEALED TO PREVENT MOISTURE AND AIR LEAKAGE.	SPEC 07200, 07920	
E. SITEWORK AND LANDSCAPING		
1. ALL DRIVEWAYS, PARKING AREAS, RAMPS, WALKWAYS AND DUMPTER PADS ARE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER.	CIVIL	
2. NO SIDEWALKS SHALL EXCEED A 2% CROSS SLOPE REGARDLESS OF WHERE LOCATED. NON-SKID FINISH PROVIDED ON ALL WALKWAYS.	CIVIL	
3. SIDEWALKS & ACCESSIBLE ROUTES ADJACENT TO ACCESSIBLE PARKING MUST ALLOW FOR A 30" VERTICAL OVERLAP. AN ACCESSIBLE SIDEWALKS MUST BE A MIN. 48" WIDE.	CIVIL	
4. SWITCHBACKS ARE NOT PERMITTED FROM HANDICAP PARKING SPACES OR ACCESSIBLES TO BUILDING ENTRANCE IN NEW CONSTRUCTION PROJECTS.	CIVIL	
5. ALL WATER FROM ROOF AND GUTTER SYSTEM PIPED AWAY FROM BUILDINGS AND DISCHARGED NO LESS THAN 6' FROM BUILDING FOUNDATION.	CIVIL	
6. FINA GRADES DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS, WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FOOT TO FEET.	CIVIL	
7. NO PART OF THE DISTURBED SITE MAY BE LEFT UNCOVERED OR UNSTABILIZED ONCE CONSTRUCTION IS COMPLETE.	CIVIL	
8. MINIMUM LANDSCAPING BUDGETS OF \$300 PER SQUAD TO THE RESIDENT ARE REQUIRED. THIS ALLOWANCE IS FOR PLANTS AND TREES ONLY AND MAY NOT BE USED FOR FILL GRADING, SEEDING AND STRAW OR SOIL.	CIVIL	
9. SITEWORK CHANGES AFTER APPLICATION AWARD ARE NOT PERMITTED WITHOUT AGENCY APPROVAL.	CONTRACT	
10. ALL NEW CONSTRUCTION AND REHAB PROPERTIES MUST HAVE INSTATED ENTRY SIGN WITH BRICK OR STONE COLUMNS.	CIVIL	
11. SITE LIGHTING POLES MUST BE INSTALLED IN LANDSCAPED AREAS INSTED OF PARKING SPACES. SITE LIGHTING MUST BE PROTECTED FROM COLLISIONS AND NEAR COMMON USE AREAS/IES FOR SAFETY.	CIVIL	
12. PEDESTIAN AND REQUIRED ACCESSIBLE ROUTES THROUGHOUT THE RESIDENTIAL PROPERTY AND COMMON AREAS MUST BE ON CONCRETE SIDEWALKS.	CIVIL	
13. MARKED CROSSLANDS MUST BE INSTALLED WHEN CROSSING VEHICULAR DRIVES.	CIVIL	
F. RADON VENTILATION		
PASSIVE, "STACK EFFECT" RADON VENTILATION SYSTEMS ARE REQUIRED FOR ALL NEW CONSTRUCTION PROJECTS IN ZONE 1 AND 2 COUNTIES. THESE SYSTEMS REDUCE SOIL GAS ENTRY INTO THE BUILDINGS BY VENTING THE GASES TO THE OUTDOORS AND MUST INCLUDE THE FOLLOWING COMPONENTS:	5/A-5.01	
1. GAS PERMEABLE LAYER OF AGGREGATE: THIS LAYER IS PLACED BETWEEN THE SLAB OR FLOORING SYSTEM AND ALLOW THE SOIL GAS TO MOVE FREELY UNDERNEATH THE HOUSE AND ENTER AN EXHAUST PIPE. IN MANY CASES, THE MATERIAL USED IS 4-INCH LAYER OF CLEAN GRAVEL.	5/A-5.01	
2. PLASTIC SHEETING/GAS BARRIER: THIS IS THE PRIMARY SOIL GAS BARRIER AND SERVES TO STOP ANY CRACKS THAT MAY FORM AFTER THE ASSEMBLY SLAB IS CURED. THE BARRIER IS USUALLY MADE OF A POLYETHYLENE SHEETING, OVERLAPPED 12 INCHES AT THE SEAMS, FITTED CLOSELY AROUND ALL PIPE, WIRE, OR OTHER PENETRATIONS, AND PLACED OVER THE GAS PERMEABLE LAYER OF AGGREGATE.	5/A-5.01	
3. PVC PENT PIPE: A STRAIGHT (NO ELBOWS) PLASTIC PVC PENT PIPE OF 3 INCH DIAMETER WILL BE CONNECTED TO A VENT PIPER "T" WHICH IS INSTALLED BELOW THE SLAB IN THE AGGREGATE. THE STRAIGHT VENT PIPE RUNS FROM THE GAS PERMEABLE LAYER, UNDER THE "T" TO THROUGH THE APARTMENT TO THE ROOF TO SAFELY VENT RADON AND OTHER SOIL GAS GASES ABOVE THE TRAIL. A 1/2 INCH-INSULATED PVC PIPE MUST BE ATTACHED TO THE "T" ON BOTH ENDS IN THE AGGREGATE TO ALLOW RADON GAS TO SAFELY ENTER THE PIPING. THE STRAIGHT VENT PIPE RUNS VERTICALLY THROUGH THE BUILDING AND TERMINATES AT LEAST 12 INCHES ABOVE THE ROOF'S SURFACE IN A LOCATION AT LEAST 10 FEET FROM WINDOWS OR OTHER OPENINGS AND ADDITION ON ADJACENT BUILDINGS, ON EACH ROOF OF THE AGGREGATE. THE PIPE SHOULD BE LABELED AS "RADON REDUCTION SYSTEM". SEALING AND CAULKING WITH POLYURETHANE OR SILICONE ON ALL OPENINGS IN THE CONCRETE FOUNDATION FLOOR MUST BE USED.		
IV. ENERGY STAR CERTIFICATION		
NEW CONSTRUCTION PROJECTS MUST MEET THE STANDARDS AND REQUIREMENTS OF ENERGY STAR 2.0 AS VERIFIED BY AN INDEPENDENT, THIRD-PARTY PARTY WHO ASSISTS WITH PROJECT DESIGN, VERIFY CONSTRUCTION QUALITY, AND TESTS COMPLETED UNITS. ADAPTIVE REPAIR AND REHABILITATION PROJECTS MUST COMPLY TO THE EXTENT DOING SO IS ECONOMICALLY FEASIBLE AND AS ALLOWED BY HISTORIC PRESERVATION RULES.	OWNER	
THIRD PARTY RATES MUST PERFORM BLOWER DOOR TESTS AT THE GREATER OF 10% OF THE TOTAL NUMBER OF UNITS OR 8 UNITS. THE UNITS TESTED MUST BE DIFFERENT UNIT TYPES AND IN DIFFERENT BUILDING LOCATIONS. UNITS THAT FAIL THE BLOWER DOOR TESTS MUST BE REPORTED TO THE AGENCY AT THE TIME OF FAILURE. ADDITIONAL TESTING MAY BE REQUIRED AT OWNER'S EXPENSE.	OWNER	

THIS SPECIFICATION IS REQUIRED TO BE FOLLOWED IN ALL BREEZEWAYS, COMMON USE AREAS, AND 5% OF THE TOTAL NUMBER OF UNITS. DUE TO NCHFA REGULATIONS AN ADDITIONAL 5% OF THE TOTAL NUMBER OF UNITS SHALL MEET THESE REQUIREMENTS AND SHALL HAVE ROLL-IN SHOWERS.

GENERAL REQUIREMENTS:

- CHANGES IN LEVEL WITHIN THE DWELLING UNIT SHALL BE 1/4" MAX. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. MAX. HEIGHT OF THE THRESHOLD AT THE ENTRY DOOR SHALL BE 1/2" WITH 1:2 SLOPED BEVELS. REFER TO ANSI 4.5.2. FOR FURTHER INFORMATION.
- ALL ENTRANCE DOORS SHALL HAVE LEVER HARDWARE.
- OPERABLE PARTS OF SWITCHES, OUTLETS, AND THERMOSTATS SHALL BE NO HIGHER THAN 48" AND NO LOWER THAN 15" A.F.F. IF THE REACH IS FORWARD OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAX. HEIGHT SHALL BE 44". 46" FOR SIDE REACH OVER AN OBSTRUCTION.
- CLOTHES RODS SHALL BE MOUNTED AT 54" A.F.F.
- ALL DOORS INTO AND THROUGH THE UNIT SHALL BE A MINIMUM OF 2'-10" WIDE (32" CLEAR).
- SMOKE DETECTORS SHALL PROVIDE VISUAL AS WELL AS AUDIBLE ALARM.

BATHROOM REQUIREMENTS:

- MEDICINE CABINETS SHALL HAVE A USABLE SHELF 44" MAX. A.F.F.
- MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE AT 38" MAX. A.F.F. LAVATORIES SHALL BE MOUNTED WITH THE SINK RIM 34" MAX. A.F.F. AND WITH A CLEARANCE OF 27" MIN. FROM THE FLOOR TO THE BOTTOM OF THE APRON. ALL EXPOSED PIPES AND SINKS SHALL BE INSULATED OR CONFIGURED TO PROTECT AGAINST CONTACT. NO ABRASIVE OR SHARP SURFACES UNDER SINKS.
- AN IN-TUB SEAT SHALL BE PROVIDED AND SHALL COMPLY WITH ANSI 4.21.3.
- IN WALL BLOCKING FOR GRAB BARS SHALL BE INSTALLED AT TOILETS, TUBS, AND TUB/SHOWERS WHERE PROVIDED.
- CONTROLS, FAUCETS AND OTHER CONTROLS SHALL COMPLY WITH ANSI 4.25.4. SEE FIGURE 4.21.4.
- A SHOWER SPRAY UNIT SHALL BE PROVIDED WITH A 60" HOSE THAT CAN BE USED AS A FIXED SHOWER OR AS A HAND HELD SHOWER.
- TUB RIM SHALL BE 17" TO 19" A.F.F.
- WATER CLOSETS HEIGHT FROM THE FLOOR TO THE TOP OF THE SEAT SHALL BE 15" TO 19"
- WATER CLOSET FLUSH CONTROL SHALL BE ON OPEN SIDE (AWAY FROM TUB OR WALL).
- PROVIDE LEVER TYPE HANDLES ON ALL BATH FIXTURES.
- ALL CABINET HANDLES SHALL BE D-LOOP TYPE

KITCHEN REQUIREMENTS:

- A BASE CABINET ADJACENT TO RANGE SHALL BE REMOVABLE SUCH THAT A 30" MIN. WIDE WORK COUNTER SHALL BE PROVIDED WITH KNEE SPACE (WORK SPACE). FLOOR FINISH SHALL EXTEND UNDER CABINET TO WALL AND HEIGHT SHALL BE FIXED AT 34" MAX. A.F.F.
- SINK BASE CABINET SHALL BE REMOVABLE SUCH THAT A 30" MIN. WIDE KNEE SPACE IS PROVIDED. SINK SHALL BE MOUNTED AT A FIXED HEIGHT OF 34" TO THE SINK RIM. DEPTH OF A SINK BOWL SHALL BE 6 1/2" MAX. FLOOR FINISH SHALL EXTEND UNDER SINK CABINET TO WALL. WATER SUPPLY PIPES AND DRAIN PIPES UNDER SINK SHALL BE PROTECTED IN ACCORDANCE WITH ANSI 4.20.4.
- UPPER WALL CABINETS ABOVE WORK SPACE SHALL BE MOUNTED 48" FROM FINISH FLOOR TO UPPER SURFACE OF LOWEST SHELF.
- RANGES OR COOKTOPS SHALL COMPLY WITH ANSI 4.33.4.6. CONTROLS SHALL BE LOCATED ON THE FRONT PANEL.
- OVENS SHALL COMPLY WITH ANSI 4.33.4.7. AND SHALL BE SELF CLEANING. REFRIGERATORS/ FREEZERS SHALL COMPLY WITH ANSI 4.33.4.8.
- REMOTE SWITCHING FOR RANGE HOOD/LIGHT SHALL BE PROVIDED AT WORKSPACE.
- DISHWASHER SHALL COMPLY WITH ANSI 4.33.4.9.
- ALL CABINET HANDLES SHALL BE D-LOOP TYPE

THE ABOVE STATED REQUIREMENTS CAN BE MODIFIED IN ACCORDANCE WITH ANSI A-117.7, APPENDIX A, PARAGRAPH A 4.3.3.2, ADAPTABILITY. THIS IS SUBJECT TO LOCAL, STATE, AND FEDERAL JURISDICTION AND APPROVAL.

The diagrams illustrate the required clearances for various fixtures in a dwelling unit:

- TOILET:** Shows a side view of a toilet with a 15" clearance from the wall to the toilet rim and an 18" clearance from the toilet rim to the side wall.
- TOILET (HC):** Shows a top view of a toilet with a 60" clearance from the toilet rim to the side wall and a 56" clearance from the toilet rim to the front wall.
- KITCHEN SINK:** Shows a top view of a kitchen sink with a 24" clearance from the sink rim to the side wall and a 30" x 48" clearance from the sink rim to the front wall.
- HC KITCHEN SINK:** Shows a top view of a kitchen sink with a 30" x 48" clearance from the sink rim to the side wall and a 30" x 48" clearance from the sink rim to the front wall.
- OVEN:** Shows a side view of an oven with a 30" x 48" clearance from the oven door to the side wall and a 30" x 48" clearance from the oven door to the front wall.
- WASHER OR DRYER (N.I.C.):** Shows a side view of a washer or dryer with a 30" x 52" clearance from the washer or dryer to the side wall and a 30" x 52" clearance from the washer or dryer to the front wall.

THIS SPECIFICATION IS REQUIRED TO BE FOLLOWED IN ALL GROUND FLOOR UNITS UNLESS NOTED OTHERWISE.

REQUIREMENT 1: ALL BUILDING ENTRANCES SHALL BE ON AN ACCESSIBLE ROUTE UNLESS PROHIBITED BY THE TERRAIN. TERRAIN ANALYSIS MUST BE DONE IN ACCORDANCE WITH THE FAIR HOUSING ACT REQUIREMENT.

REQUIREMENT 2: ALL BREEZEWAYS AND OTHER COMMON USE AREAS SHALL MEET THE REQUIREMENTS OF THE ANSI STANDARD.

REQUIREMENT 3: ALL COVERED DWELLINGS WITH AN ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED WITH DOORS INTO AND THROUGH THE UNIT A MIN. OF 2'-10" WIDE (32" CLEAR).

REQUIREMENT 4: CHANGES IN LEVEL WITHIN THE DWELLING UNIT SHALL BE 1/4" MAX. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. MAXIMUM HEIGHT AT THE THRESHOLD AT THE ENTRY DOOR SHALL BE 1/2" WITH 1:2 SLOPED BEVELS. A 4" STEP IS ALLOWED ONLY AT A SECONDARY PATIO DOOR WHERE THE PATIO FLOOR IS IMPERVIOUS MATERIAL.

REQUIREMENT 5: OPERABLE PARTS OF SWITCHES, OUTLETS, TELEPHONES, AND THERMOSTATS SHALL BE NO HIGHER THAN 48" AND NO LOWER THAN 15" A.F.F. IF THE REACH IS FORWARD OVER AN OBSTRUCTION BETWEEN 20 AND 25 INCHES IN DEPTH, THE MAX HEIGHT SHALL BE 44". 46" FOR SIDE REACH OVER AN OBSTRUCTION.

REQUIREMENT 6: REINFORCEMENT SHALL BE INSTALLED IN BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS, AT THE TOILET, TUB, SHOWER, AND SHOWER SEAT WHERE SUCH APPLIANCE ARE PROVIDED.

REQUIREMENT 7: THERE SHALL BE A 30" x 48" CLEAR FLOOR SPACE AT EVERY APPLIANCE AND FIXTURE IN THE KITCHEN AND BATH. THE CLEAR FLOOR SPACE MUST BE POSITIONED EITHER PARALLEL OR PERPENDICULAR TO AND CENTERED ON THE APPLIANCE OR FIXTURE. IF A PARALLEL APPROACH IS NOT POSSIBLE, THE CABINETS AND SINKS MUST BE REMOVABLE TO ALLOW KNEE SPACE.

10

ROLL-IN SHOWER AT TYPE "A" BATH

A-0.02 1"=1'-0"

LOW-FLOW SHOWER HEAD.

PROVIDE 2x10 BLOCKING & FACTORY INSTALLED INTEGRAL WOOD REINFORCING GRAB BARS @ 33\"/>

REMOVABLE CURB w/ roll-over RUBBER GASKET

60\"/>

9

TUB/SHOWER AT TYPE "A" BATH

A-0.02 1"=1'-0"

LOW-FLOW SHOWER HEAD.

PROVIDE 2x10 BLOCKING & FACTORY INSTALLED INTEGRAL WOOD REINFORCING FOR 24\"/>

18\"/>

OFFSET CONTROLS INCLUDING SPOUT

12\"/>

8

ENTRY DOOR HC REQUIREMENTS

A-0.02 N.T.S.

PEEPHOLE @ 60\"/>

SIGN ON LATCH SIDE OF DOOR, WITH MINIMUM 18\"/>

SECOND PEEPHOLE @ 44\"/>

MINIMUM 18\"/>

7

WALL-MOUNTED FIXTURE HEIGHTS

A-0.02 N.T.S.

44\"/>

36\"/>

15\"/>

UPPERMOST BREAKER OF E.P., TYP.

THERMOSTAT MOUNTING HGT. TYP.

LIGHT SWITCH & WALL PHONE JACK MOUNTING HGT. TYP.

T.D.D. JACK AND RECEPTACLE FOR T.D.D. EQ., TYP AT EACH (av) UNIT ONLY

WALL DUPLEX RECEPTACLE, STANDARD PHONE JACK AND CABLE JACK MOUNTING HEIGHT, TYP., U.N.O.

ALL UNITS ON THE FIRST FLOOR WILL COMPLY WITH THE FAIR HOUSING ACT (VIA COMPLIANCE WITH ANS/ICC A117.1-2009). THESE UNITS SHALL AT MINIMUM COMPLY WITH ANS/ICC A117.1-2009 "TYPE B" STANDARDS (w/ UNIT DESIGNATION (b)) AND SHALL HAVE THE FOLLOWING ACCESSIBILITY/ ADAPTABILITY FEATURES.

- DOORS TO HABITABLE ROOMS SHALL BE 2'-10" MIN. (3'-0" PROVIDED).
- LIGHT SWITCHES, THERMOSTATS & WALL TELEPHONE JACKS SHALL BE MOUNTED AT 44" MAX. A.F.F. TO CENTERLINE. THE UPPERMOST BREAKER OF ELECTRICAL PANEL SHALL BE AT 44" MAX.
- DUPLEX OUTLETS, STANDARD PHONE AND CABLE JACKS SHALL BE MOUNTED AT 18" MIN. A.F.F. TO CENTERLINE
- BLOCKING AND/OR REINFORCING SHALL BE PROVIDED FOR FUTURE GRAB BARS AND WALL-HUNG LAVATORIES
- PROVIDE BLOCKING, CLIPS & CLEATS FOR LOWERING CLOSET SHELVES.
- ASSURE SUPPLY & WASTE PIPING ROUGH-INS ALLOW FOR FUTURE HEIGHTS OF PLUMBING FIXTURES.
- PROVIDE MANEUVERING CLEARANCES AT EACH FIXTURE AND APPLIANCE.
- COORDINATE HC AND ACCESSIBLE APARTMENT ALUMINUM LOW PROFILE DOOR SILLS WITH FINISH MATERIAL HEIGHTS INSIDE OF ENTRY DOORS. ASSURE DROPS AT THRESHOLDS ARE $\frac{1}{2}$ " MAXIMUM.
- THE CENTERLINE OF THE TOILET MUST BE 18" FROM THE ADJACENT WALL SURFACES AND 15" MIN. (16" PREFERRED) FORM ADJACENT FINISHED VANITY EDGE.

60" TYP.
60" MAX.
BOTTOM OF UPPER LINE OF TEXT
48" MIN.
BOTTOM OF LOWER LINE OF BRAILLE TEXT

ROOM NAME

5/8" - 1" SANS SERIF TACTILE TEXT w/ GRADE 2 BRAILLE 3/8" BELOW

60" TYP.
60" MAX.
BOTTOM OF UPPER LINE OF TEXT
48" MIN.
BOTTOM OF LOWER LINE OF BRAILLE TEXT

ROOM NAME

5/8" - 1" SANS SERIF TACTILE TEXT w/ GRADE 2 BRAILLE 3/8" BELOW

UNIT & ROOM/SPACE IDENTIFICATION SIGNS

6 N.T.S.

42"

18"

12" MAX

6"

36"

TO CENTERLINE OF TOILET

36" MIN

33" - 36" GRAB TO BAR TYP

32" MAX

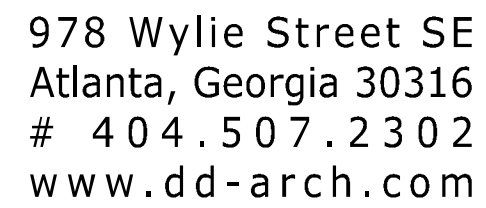
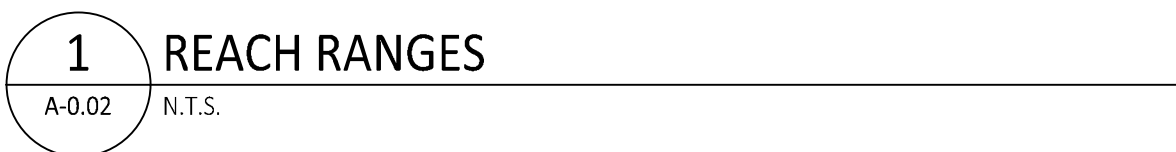
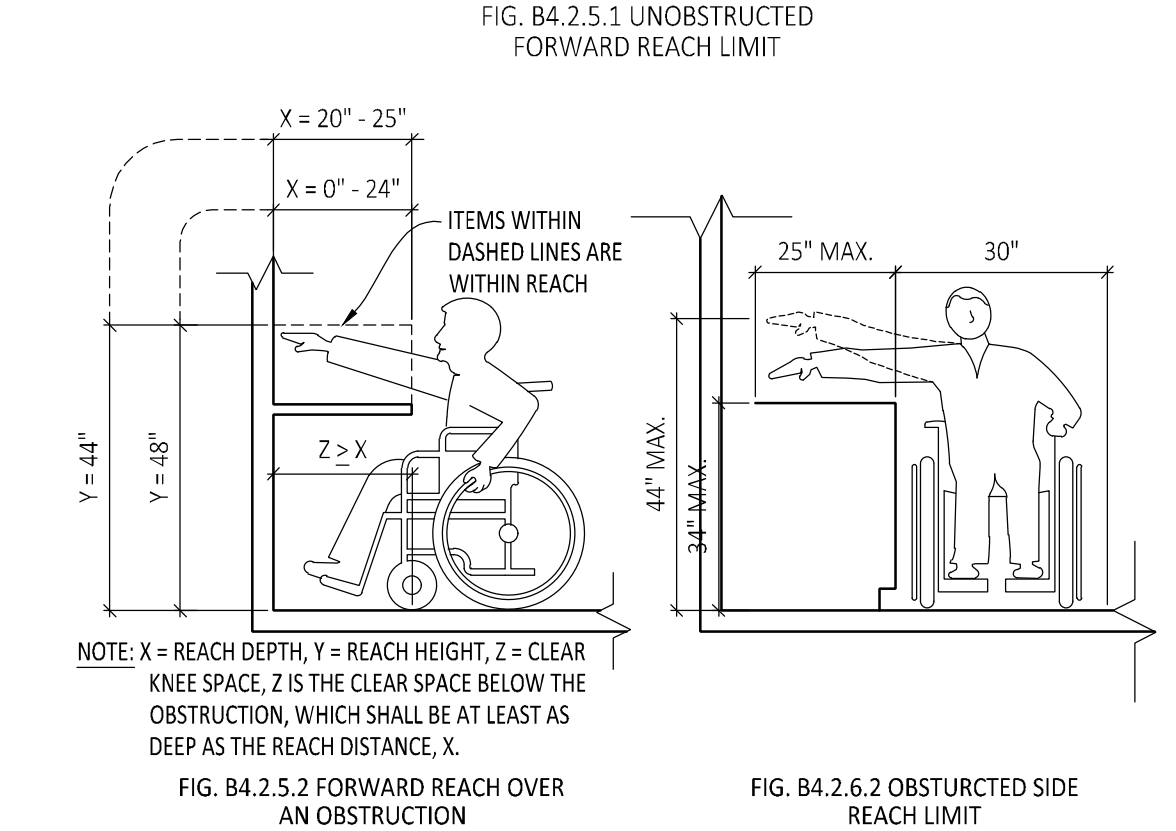
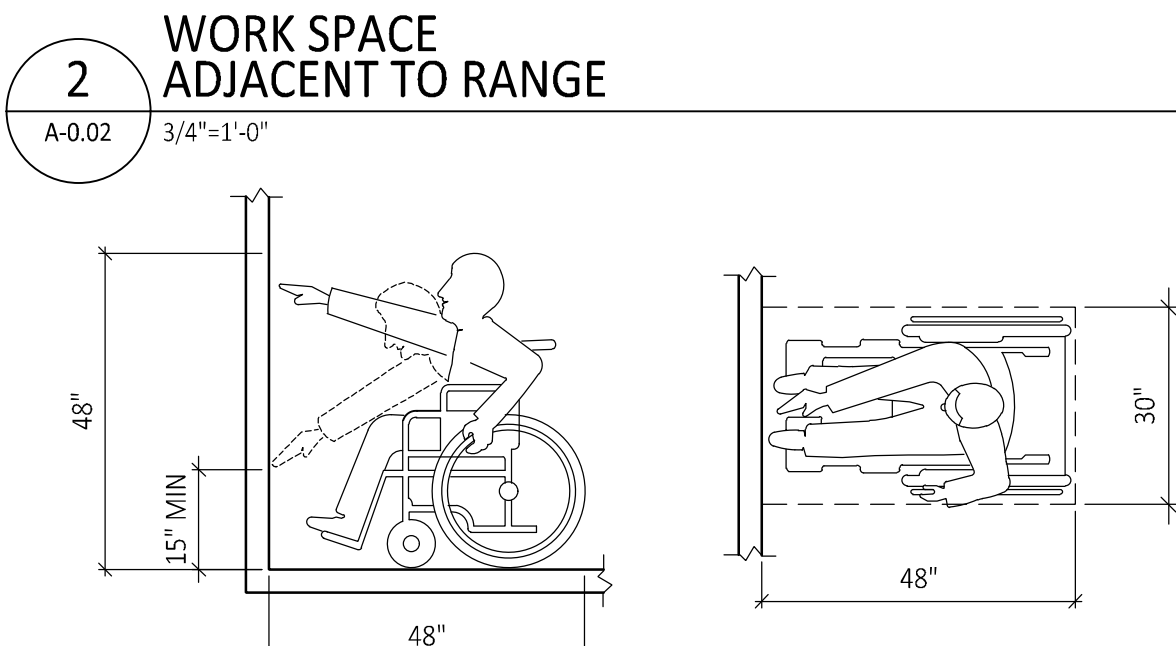
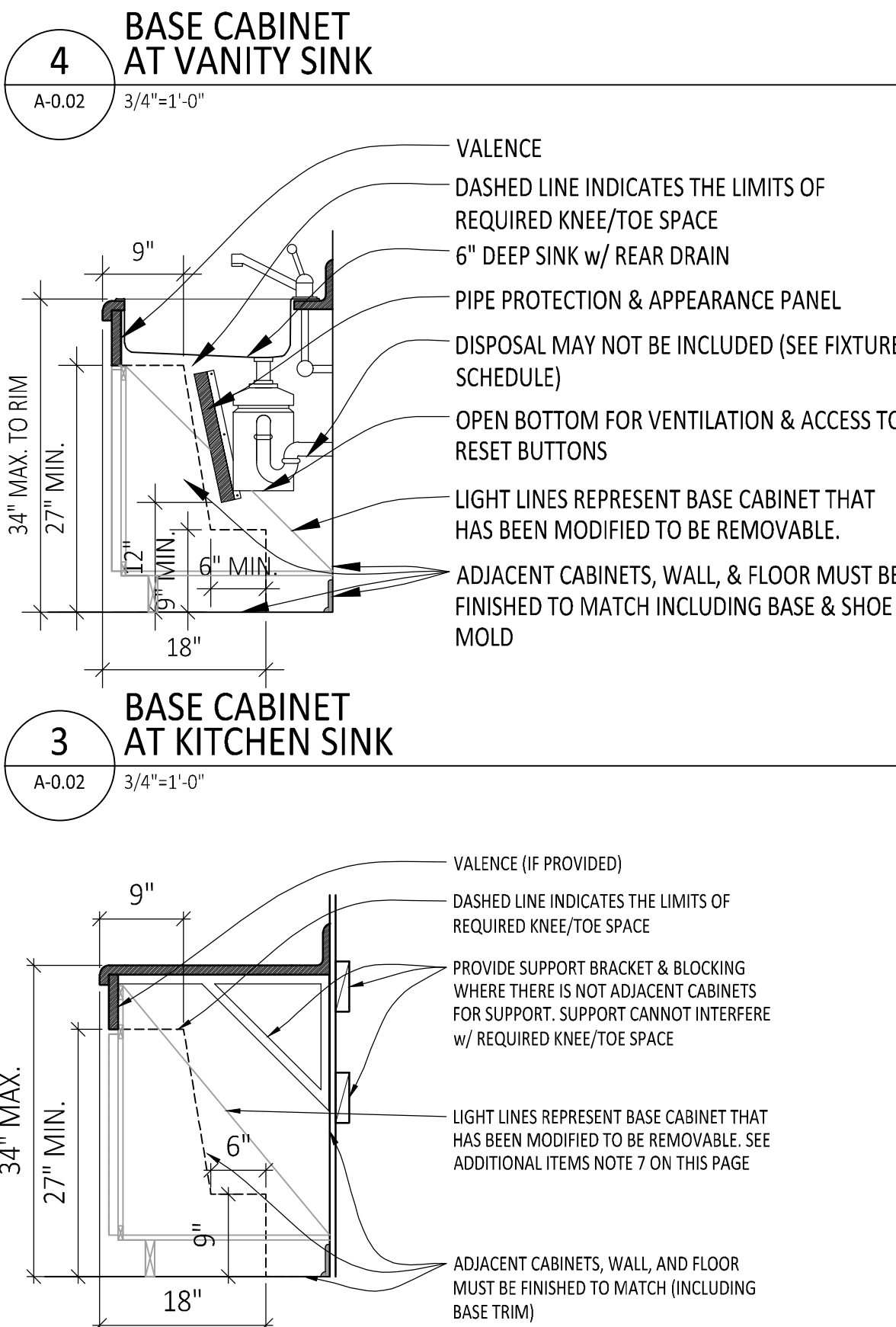
1 1/4" - 1 1/2"

1 1/2"

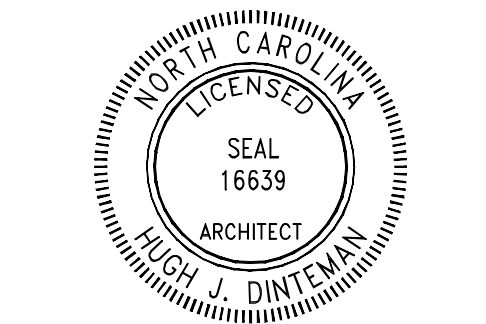
NOTE: 2" TO 4" ADDITIONAL 2x10 REINFORCING AT SIDES

WATER CLOSET GRAB BARS & REINFORCING

5 N.T.S.

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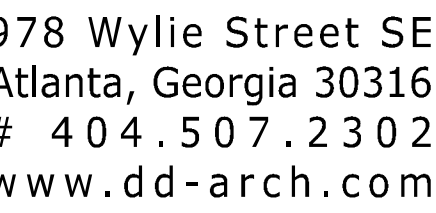
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HANDICAPPED NOTES AND DETAILS

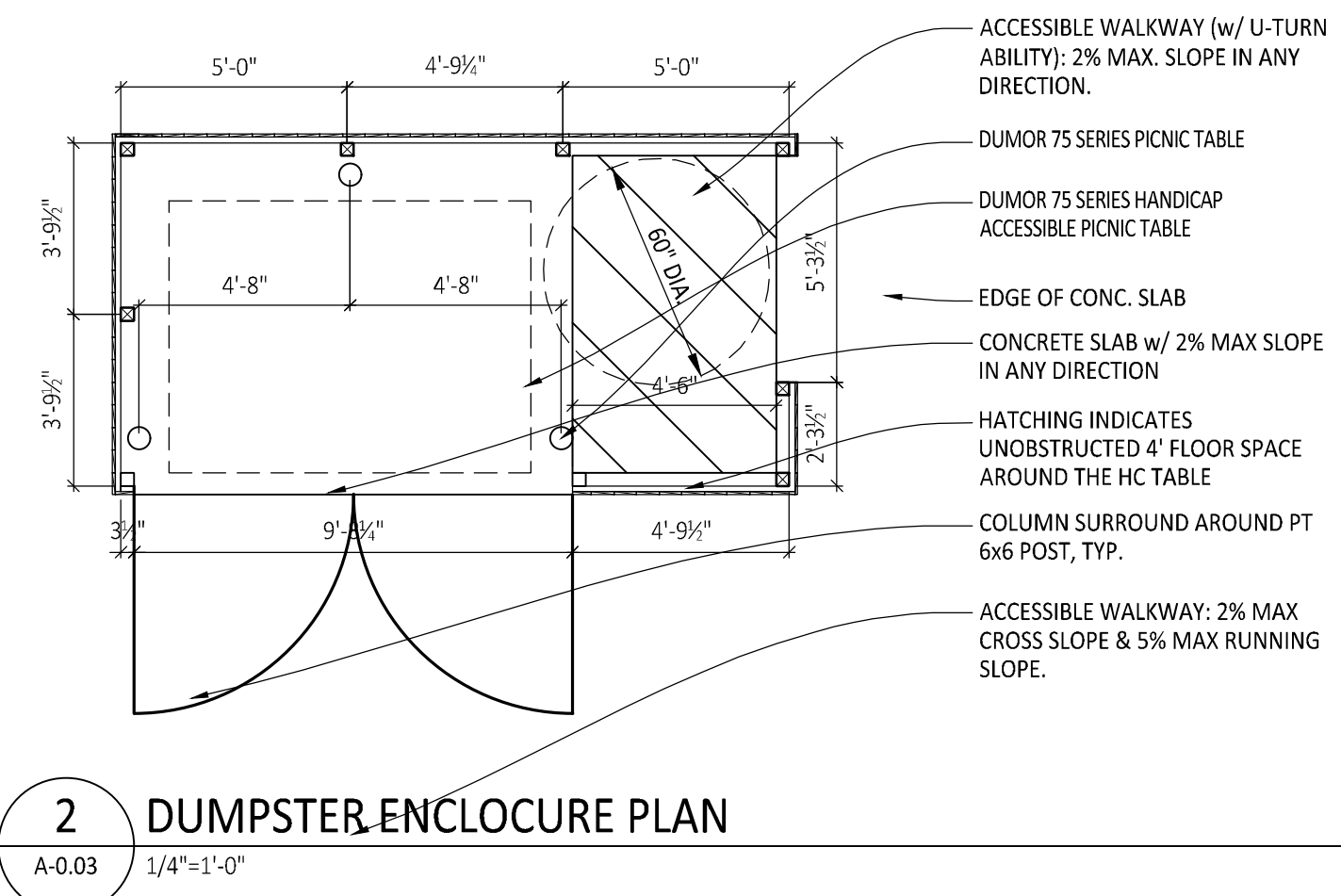
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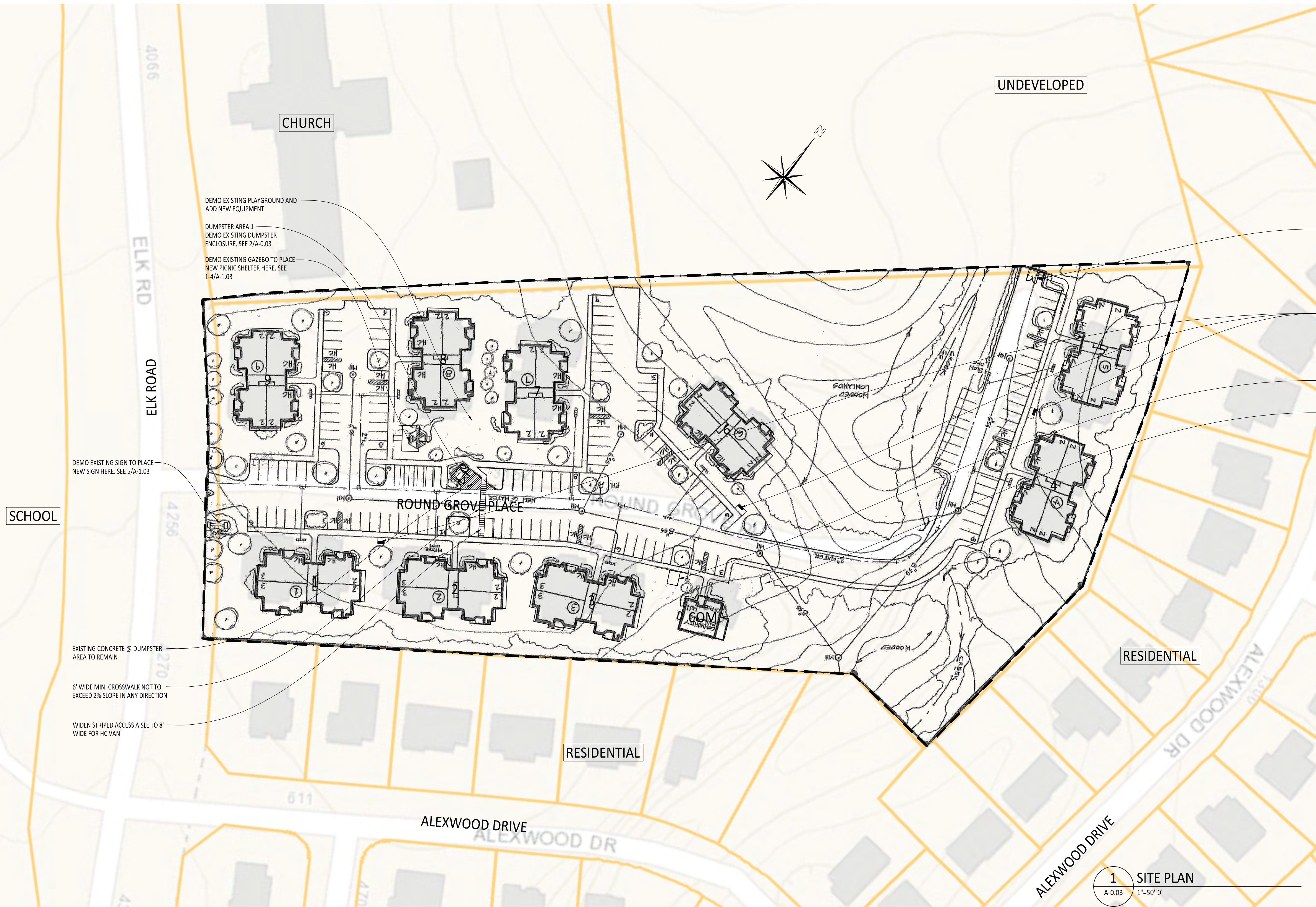
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Southview Green Apartments										
Hope Mills, NC, NC 24-002										
Units		2-BR		2-BR-HC		3-BR		3-BR-HC		
P-P SF	955	955	1178	1178	Total	Unit Net (Paint-Paint) SF	Unit Gross (Exterior) SF	Unit Patio SF	Bldg Gross (Under Roof) SF	
Gross SF	1006	1006	1234	1234						
Patio SF	59	59	59	59						
Building #	1	3	1	3	1	8	8,532	8,960	472	10,131
	2	3	1	3	1	8	8,532	8,960	472	10,131
	3	3	1	3	1	8	8,532	8,960	472	10,131
	4	6	2	0	0	8	7,640	8,048	472	9,160
	5	6	2	0	0	8	7,640	8,048	472	9,160
	6	6	2	0	0	8	7,640	8,048	472	9,160
	7	6	2	0	0	8	7,640	8,048	472	9,160
	8	6	2	0	0	8	7,640	8,048	472	9,160
	9	6	2	0	0	8	7,640	8,048	472	9,160
Totals		45	15	9	3	72	71,436	75,168	4,248	85,353
		60		12						



- DUMPSTER AREA 2
DEMO EXISTING DUMPSTER
ENCLOSURE. SEE 2/A-0.03 ADD
ACCESSIBLE WALK TO SIDE OF
DUMPSTER

6' LONG BENCH EMBEDDED IN
CONC. SEE 3/A-0.03 TYPICAL FOR
THREE BENCHES.

NEW MAIL KIOSK. SEE 6-10/A-1.03

DEMO EXISTING PLAYGROUND AND
ADD NEW EQUIPMENT

SITE INFORMATION:
AREA: 7.22 ACRES
BUILDINGS: NINE (9) 2-STORY APARTMENT BUILDINGS

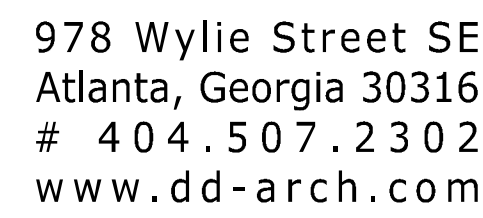
SITE NOTES:

- NO RETAINING WALLS
- NO FLOOD PLAIN ON SITE

SCOPE OF WORK FOR SITE:

A. REMOVE & REPLACE SIDEWALKS/SECTIONS AS NEEDED TO MEET CODE & QAP REQUIREMENTS.

- A. MAINTAIN 4' WIDE CLEAR WALKWAY TO ALL AMENITIES & 5' WALK TO PUBLIC ROW w/ 5' WIDTH AT ALL CHANGES IN DIRECTION.
 - a. ADD PARKING BUMPERS AT ALL PARKING SPACES.
 - b. REWORK SIDEWALKS TO PROVIDE AN ACCESSIBLE ROUTE TO ALL DUMPSTERS.
- B. MUST KEEP ~2% CROSS SLOPE & <5% RUNNING SLOPE.
- B. EXAMINE BUILDING PERIMETERS & REGRADE ANY AREAS CAUSING DRAINAGE ISSUES. UPDATE LANDSCAPING AROUND ALL BUILDINGS.
- C. REPLACE DOWN SLOUT EXTENSIONS TO ENSURE DRAINAGE IS AT LEAST 6' AWAY FROM BUILDINGS.
- D. INSTALL NEW PLAYGROUND EQUIPMENT.
- E. RE-BUILD DUMPSTER CORALS OUT OF IMPROVED MATERIALS. INSTALL PIPE BOLLARDS BEHIND DUMPSTERS.
 - 1. CORRECT ACCESSIBLE ROUTE TO DUMPSTER AREA.
- F. REPAIR STREET & PARKING LOTS AS NEEDED.
 - 1. CUT OUT & REPAIR LOT DEGRADED ASPHALT.
 - 2. REPAIR POTHOLES.
 - 3. REPAIR AREAS w/ "GATORING".
- G. CHECK ALL HC SPACES & AISLES FOR SLOPE (<2% IN ANY DIRECTION). POSSIBLY REPLACE IT w/ CONCRETE.
- H. SEAL COAT & RE-STRIPLE LOT
- G. REPLACE ROAD MONUMENT SIGNAGE w/ 2-SIDED SIGN w/ BRICK (AS PER NCHFA GUIDELINES) w/ SOLAR LIGHTING.
- H. REPLACE & ADD NEW HANDICAPPED RAMPS.
- I. REMOVE OLD GAZEBO. ADD PICNIC SHELTER (COVERED w/ TWO TABLES ONE HC) & THREE BENCHES AROUND PROPERTY.
- J. SCOPE & REPLACE SEWER PIPES AS NEEDED.
- K. INSPECT EXISTING SITE LIGHTING & ADD/REPLACE AS NEEDED TO MAINTAIN 1 FC AT ALL WALKS.
- L. ADD MAIL KIOSK

[illegible]

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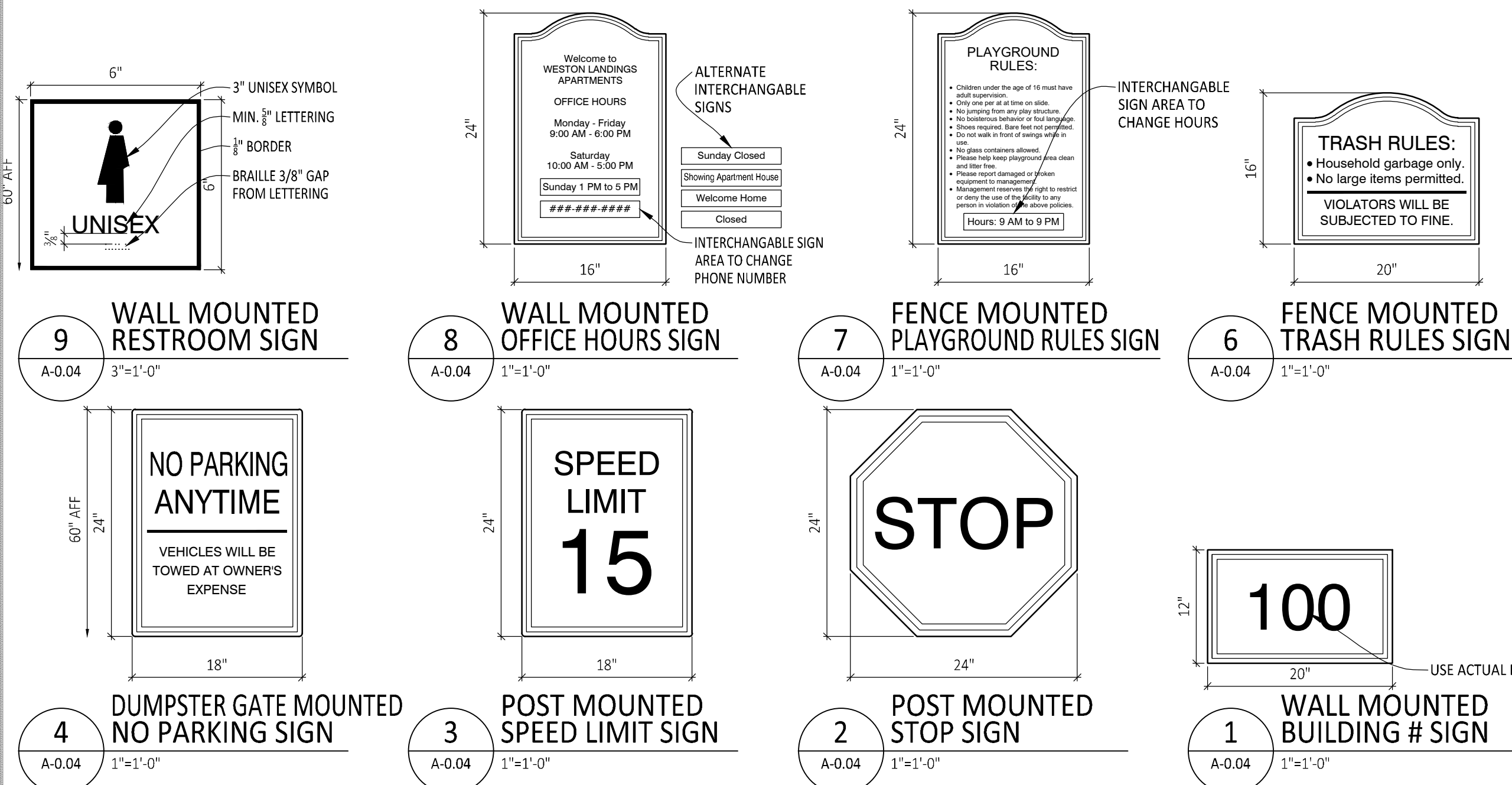
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1. CLOSETS AND HALLWAYS SHALL HAVE THE SAME FINISHES AS ROOM UNLESS NOTED OTHERWISE (UNO).
2. DOORS SHALL BE CENTERED OR SHALL HAVE A 4" HINGE-SIDE JAMB UNO.
3. BLOCKING AT FIBERGLASS TUB/SHOWER & ROLL-IN SHOWER ENCLOSURES SHALL BE PROVIDED BY FACTORY INSTALLED INTEGRAL WOOD REINFORCING AND 2x10 IN-WALL BLOCKING AS PER NCHFA REGULATION.
4. FOR ALL UNITS GRAB-BARS & 2x10 GRAB-BAR BLOCKING/REINFORCING IS ONLY REQUIRED AT ALL 1st FLOOR UNITS. GRAB-BAR BLOCKING IS NOT REQUIRED FOR 2nd FLOOR UNITS.
5. 2x6 MIN. IN-WALL STUD-TO-STUD BLOCKING SHALL BE PROVIDED FOR ALL WALL-HUNG ITEMS INCLUDING BUT NOT LIMITED TO: CABINETS, COUNTERS, SINKS, TOWEL BARS, TISSUE DISPENSERS, & OTHER ITEMS.
6. BASE TRIM AND SHOE-MOULD REQUIRED BEHIND FRIDGE AND RANGE DIMENSIONS ON INTERIOR ELEVATIONS REPRESENT FINISHED DIMENSIONS. ALL FIXTURES, OUTLETS, & OTHER ITEMS SHALL BE COORDINATED WITH THESE DIMENSIONS IN LIEU OF WHAT IS SHOWN ON THE PLANS.
7. DIMENSIONS ON UNIT PLANS REPRESENT ROUGH FRAMING DIMENSIONS OR TO FACE OF BRICK.
8. DIMENSIONS WITH AN OBLIQUE MARK REPRESENT FACE DIMENSIONS; WHILE DIMENSIONS WITH AN OPEN CIRCLE REPRESENT CENTERLINE DIMENSIONS.
9. CABINET SHOP DRAWINGS SHALL BE PROVIDED FOR ALL CABINETRY AND DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION.
10. SEE SHEET A-0.02 FOR ADDITIONAL HC NOTES & DETAILS.
11. WC FLUSH HANDLE SHALL BE TOWARD OPEN SIDE (AWAY FROM WALL OR TUB).
12. FOR MATERIAL TRANSITION BETWEEN ROOMS: THE TRANSITION STRIP SHALL BE CENTERED BELOW THE DOOR LEAF. ATTENTION SHALL BE GIVEN TO THE SWING OF THE DOOR TO VERIFY PLACEMENT AS THE LEAF IS NOT CENTERED IN THE DOORWAY OPENING.

	SPACE	BASE	FLOOR	WALL	CEILING	REMARKS
APARTMENT UNITS	LIVING/DINING KITCHEN	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1" ROUND 1" ROUND @ CABINETS & FACE OF TUB	LVP	PRIMED & PAINTED GYP-BD. FLAT (SEMI-GLOSS @ KITCH. BACKSPLASH)	PRIMED & PAINTED GYP-BD. FLAT	USE MOISTURE RESISTANT GYP-BD. w/in 48" OF KITCHEN SINK. ALSO MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY. SAME FINISHES INSIDE OF ADJ. CLOSETS.
	BEDROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP	CARPET & PAD	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES IN BEDROOM CLOSET. GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
	HC UNIT BEDROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP, 1" ROUND OPTIONAL	GLUE DOWN LOW PILE CARPET	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES IN BEDROOM CLOSET. GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
	BATH	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1/2" ROUND	LVP	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	USE QUARTER ROUND TRIM @ TUB. GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
	MECHANICAL CLOSET	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1/2" ROUND	VCT	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
COMMUNITY BUILDING	MULTI-PURPOSE ROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1/2" ROUND	LVP	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES INSIDE OF ADJACENT CLOSETS.
	BREAK AREA	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1" ROUND 1/2" ROUND @ CABINETS	LVP	PRIMED & PAINTED GYP-BD. FLAT (SEMI-GLOSS @ BREAK ROOM BACKSPLASH)	PRIMED & PAINTED GYP-BD. FLAT	USE MOISTURE RESISTANT GYP-BOARD w/in 48" OF BREAK ROOM SINK. SAME FINISHES INSIDE OF ADJACENT CLOSETS.
	LEASING OFFICE	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1/2" ROUND	LVP	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	SAME FINISHES INSIDE OF ADJACENT CLOSETS.
	MAINTENANCE	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP	SEALED CONCRETE	PRIMED & PAINTED GYP-BD. FLAT	PRIMED & PAINTED GYP-BD. FLAT	
	UNISEX RESTROOM	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1/2" ROUND	VCT	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	
	LAUNDRY CENTER	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP & 1/2" ROUND	VCT	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	GYP-BOARD MUST MEET ALL FIRE-RESISTANCE RATINGS AS INDICATED IN FIRE-RATED ASSEMBLY.
APT. BLDG.	UNDER STAIR CLOSET	3-1/4" FINGER-JOINTED WOOD w/ ROUNDED TOP	SEALED CONCRETE	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	PRIMED & PAINTED MOISTURE RESISTANT GYP-BD. SEMI-GLOSS	

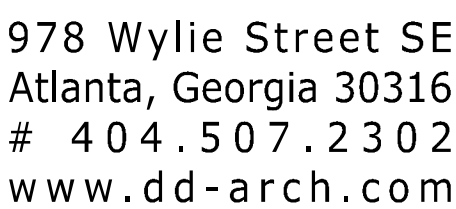
ITEM	LOCATION	MODEL	MANUFACTURER	REMARKS
MEDICINE CABINET	UNIT BATH	VISTA #9400	AMERICAN PRIDE	16" x 20" MIRROR, HIGH IMPACT POLYSTYRENE RECESSED CABINET w/ TWO FIXED SHELVES, TWO G40 GALVANIZED SPLIT BUTT 2.5" HINGES, MAGNETIC LATCH, ROUGH OPENING 14" x 18".
SHOWER CURTAIN ROD	UNIT BATH	ROD #51470 FLANGES #53370	HARNEY	POLISHED STAINLESS STEEL FINISH, ADJUSTABLE FLANGES, 60" LONG x 1" DIA. x24 GAUGE. 80" A.F.F.
24" TOWEL BAR SET	UNIT BATH	SEA BREEZE #12051	HARNEY	SATIN NICKEL FINISH, 2 13/16" D x 24 7/8" W x 2 1/2" H. ATTACH TO 2x6 IN-WALL BLOCKING 44" A.F.F. @ 1st, 54" A.F.F. @ 2nd.
TOILET TISSUE HOLDER	UNIT BATH	SEA BREEZE #12032	HARNEY	SATIN NICKEL FINISH, 2 13/16" D x 24 7/8" W x 2 1/2" H. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE AS PER INTERIOR ELEVATIONS.
18" GRAB BAR	UNIT BATH	COMMERCIAL #71761	HARNEY	1 1/8" DIAMETER, 304 STAINLESS STEEL, CONCEALED STAINLESS STEEL SCREWS. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE AS PER INTERIOR ELEVATIONS.
36" GRAB BAR	UNIT BATH	COMMERCIAL #71765	HARNEY	1 3/8" DIAMETER, 304 STAINLESS STEEL, CONCEALED STAINLESS STEEL SCREWS. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE AS PER INTERIOR ELEVATIONS.
42" GRAB BAR	UNIT BATH	COMMERCIAL #71766	HARNEY	1 3/8" DIAMETER, 304 STAINLESS STEEL, CONCEALED STAINLESS STEEL SCREWS. ATTACH TO 2x6 IN-WALL BLOCKING. LOCATE AS PER INTERIOR ELEVATIONS.
MIRROR	UNIT BATH	B165	BOBRICK	TYPE 430 POLISHED STAINLESS STEEL FRAME 1", SIZE AS PER INTERIOR ELEVATIONS.
TUB SEAT	UNIT BATH	WBETES290150PW	WINGIT INNOVATIONS	SEAT WITH 1" SQUARE 18GA. S/S FRAME AND 1" ROUND CROSS MEMBERS. SEAT SHALL BE SECURELY MOUNTED.

APPLIANCE	SIZE	BRAND	MODEL #	COLOR	REMARKS
DISHWASHER	33 ³ / ₈ " H x 23 ³ / ₄ " W x 24" D	GE	GDT535PGRWW	WHITE	BUILT-IN, ENERGY STAR RATED
HC DISHWASHER	32 ¹ / ₄ " H x 23 ³ / ₄ " W x 23 ¹ / ₄ " D	GE	GDT7226SSLSS	STAINLESS STEEL	BUILT-IN, ENERGY STAR RATED, ADA COMPLIANT, INSTALLS UNDER 34" COUNTER, CAFE BAR HANDLE
RANGE	41" H x 23 ⁷ / ₈ " W x 28" D	GE	GRS600AVWW	WHITE	SLIDE-IN, SELF CLEANING, ANTI-TIP DEVICE SECURED TO FLOOR & WALL.
HC RANGE	27" H x 31 ¹ / ₂ " W x 28 ³ / ₄ " D	GE	JAS640RMS	STAINLESS STEEL/GRAY	DROP-IN, SELF CLEANING, ADA COMPLIANT, ANTI-TIP DEVICE SECURED TO FLOOR & WALL.
RANGE HOOD	5 ³ / ₈ " H x 29 ³ / ₈ " W x 20" D	GE	JVK305DJWW	WHITE	ENERGY STAR RATED, VENT TO EXTERIOR.
HC RANGE HOOD	5 ¹ / ₂ " H x 23 ¹ / ₂ " W x 20" D	GE	JVK305SSJS	STAINLESS STEEL	ENERGY STAR RATED, ADA COMPLIANT, VENT TO EXTERIOR, WIRE FOR REMOTE SWITCHING OF FAN & LIGHT FOR HC UNITS.
1-BR & 2-BR REFRIGERATOR	61 ² / ₄ " H x 28" W x 32 ³ / ₄ " D	GE	GTE16DTRNWW	WHITE	15.6 CU.FT. ENERGY STAR RATED, w/ ICE TRAYS, DOOR HINGE POSITIONED SO THAT DOOR CAN OPEN 180°.
3-BR REFRIGERATOR	64 ³ / ₄ " H x 28" W x 32 ³ / ₄ " D	GE	GTE17DTRNWW	WHITE	16.6 CU.FT. ENERGY STAR RATED, w/ ICE TRAYS, DOOR HINGE POSITIONED SO THAT DOOR CAN OPEN 180°.
HC & COM. BLDG. REFRIGERATOR	69 ¹ / ₂ " H x 35 ³ / ₄ " W x 35 ³ / ₄ " D	GE	GFE26JYMF5	FINGERPRINT RESISTANT STAINLESS	25.7 CU. FT. FINGERPRINT RESISTANT FRENCH-DOOR REFRIGERATOR, ENERGY STAR RATED, ADA COMPLIANT, w/ ICE MAKER, DOORS HINGE POSITIONED SO THAT DOORS CAN OPEN 180°.



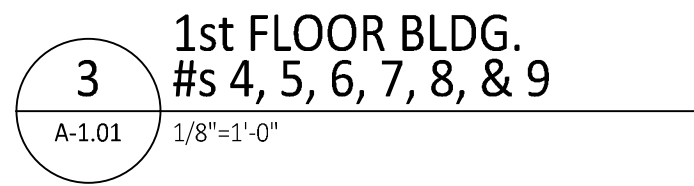
GENERAL INTERIOR SIGNAGE NOTES:

1. ALL INTERIOR SIGNAGE TO BE EQUAL TO MOHAWK SERIES 200A. COLORS AS SELECTED BY ARCHITECT. (EXTERIOR SIMILAR WHERE INDICATED).
2. LETTERING ON SIGNAGE TO BE HELVETICA BOLD.
3. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3/5 AND 1:1 AND A STROKE- WIDTH- TO- HEIGHT RATIO BETWEEN 1:5 AND 1:10.
4. LETTERS AND NUMBERS SHALL BE RAISED 1/32", UPPERCASE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE.
5. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH BUT NO HIGHER THAN 2".
6. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE OR OTHER NON GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH BACKGROUND.
7. WALL MOUNTED SIGNAGE SHALL BE AFFIXED WITH SILASTIC ADHESIVE; VINYL FOAM TAPE MAY BE USED AS A TEMPORARY POSITIONING ADHESIVE.
8. SIGN TO BE MOUNTED "2" FROM THE DOOR FRAME ON THE LATCH SIDE

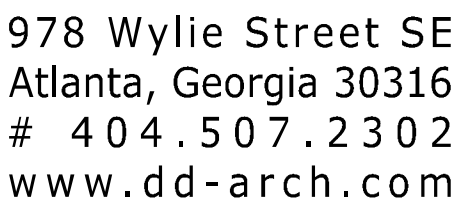
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BUILDING PLANS

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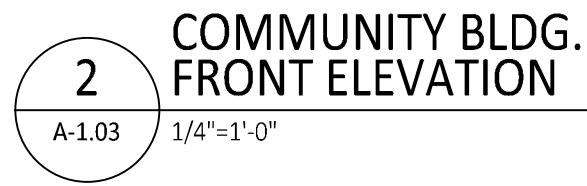
1 1st FLOOR
BLDG. #s 1, 2 & 3
A-1.01 1/8"=1'-0"

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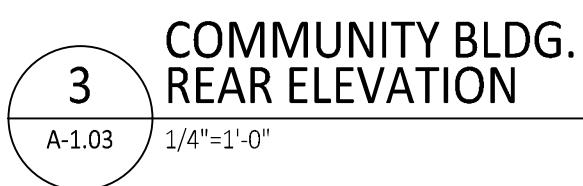
COMMUNITY BUILDING

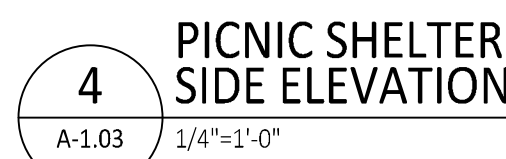
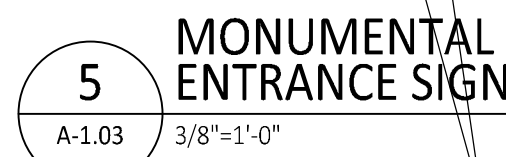
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4 COMMUNITY BLDG.
LEFT ELEVATION

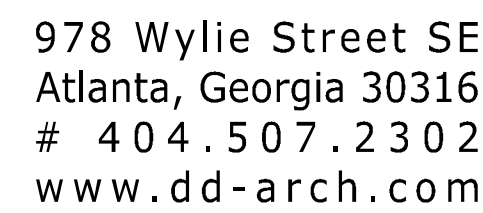




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JOB # 24-002

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Southview Green Apts.
Rehabilitation
33143 Round Grove Place
Hope Mills, North Carolina 28348



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A-2.01 1/4"=1'-0" 955 SQ. FT. NET

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JOB # 24-002

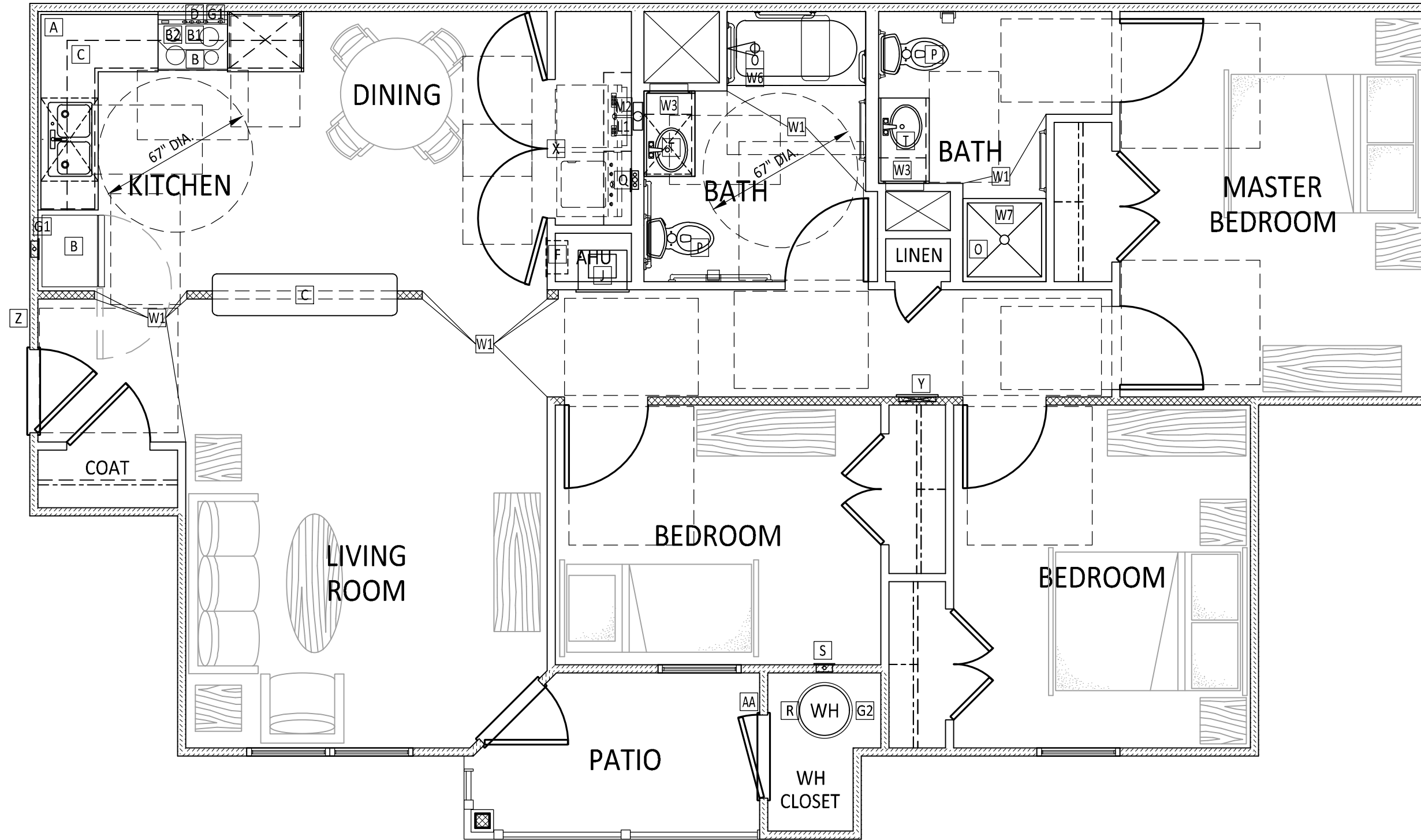
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HC UNIT PLANS

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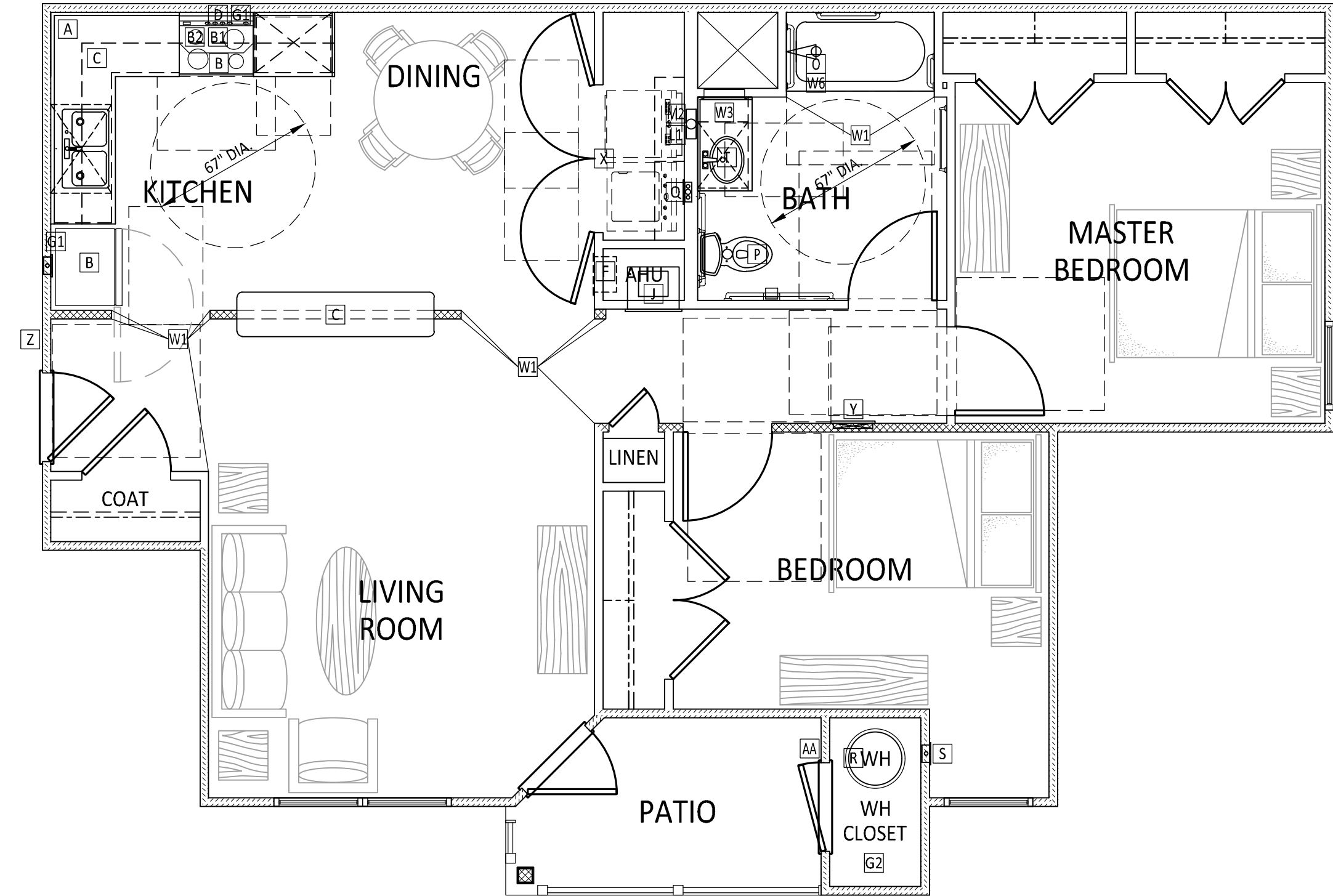
- SCOPE OF WORK FOR INTERIOR IMPROVEMENTS:**
- A. REPLACE KITCHEN CABINETS.
 - B. REPLACE ALL APPLIANCES AS PER MATRIX - APPROXIMATELY 72 UNITS.
 - 1. RECIRCULATING RANGE HOODS.
 - 2. ADD ANTI-TIP DEVICE TO RANGE SECURED TO WALL & FLOOR.
 - C. REPLACE ALL COUNTERTOPS.
 - D. REPLACE SPLASH GUARDS BEHIND RANGE AS PER MATRIX - APPROXIMATELY 60 UNITS.
 - E. REPAINT ALL UNITS AS PER MATRIX - APPROXIMATELY 80 UNITS.
 - F. ADD HARDWIRED DEHUMIDIFIER w/ HARD PIPED CONDENSATE TO ALL GROUND FLOOR MECH CLOSETS THAT DO NOT HAVE ONE.
 - G. REPLACE ALL FLOORING w/ LVP & INSTALL SHOE MOLD PER MATRIX - APPROXIMATELY 74 UNITS
 - 1. INCLUDING BEHIND RANGE & FRIDGE, INSIDE OF MECH CLOSET, & BEHIND ALL REMOVABLE CABINETS.
 - 2. MECH CLOSET - EPOXY FLOOR ON 1st & VCT ON 2nd.
 - H. REPLACE ALL LIGHT FIXTURES, ADDING CEILING FANS TO ALL BEDROOMS.
 - 1. UNIT BEDROOMS w/ BUNK BEDS TO HAVE CEILING FAN STORED ON SITE.
 - 2. FANS MUST HAVE TWO SWITCHES (ONE FOR THE LIGHT & ONE FOR THE FAN).
 - I. EXAMINE ALL BATH FANS & REPLACE/REPAIR AS NEEDED.
 - 1. WIRE BATH FAN TO MAIN CEILING LIGHT IN ALL BATHROOMS AS PER QAP REQUIREMENTS.
 - J. REPLACE ALL AIR HANDLERS PER MATRIX - APPROXIMATELY 82 UNITS
 - 1. ENCLOSE AIR RETURNS.
 - 2. NEW TOP DISTRIBUTION COLLARS.
 - K. REPLACE ALL CONDENSERS, NEW REFRIGERANT AND PROPERLY SIZED SUPPLY LINES PER MATRIX - APPROXIMATELY 75 UNITS
 - L. EXAMINE & CLEAN ALL DRYER LINES TO ENSURE THAT THEY ARE HARD DUCTED TO THE EXTERIOR.
 - 1. LOWER DRYER VENT HOOKUP TO BE JUST ABOVE (ON) THE BOTTOM PLATE.
 - M. REPLACE ALL RECEPTACLES, SWITCHES, & COVER PLATES.
 - 1. INCLUDING ADDING SWITCHES FOR VENT HOOD FAN & LIGHT ADJACENT TO THE RANGE AT THE HC WORKSPACE IN HC UNITS.
 - 2. CHECK DRYER PLUGS AND REPLACE ONLY IF FAULTY.
 - N. REPLACE ALL SMOKE DETECTORS w/ HARDWIRED INTERCONNECTED SMOKE DETECTORS.
 - 1. AT LEAST ONE SMOKE DETECTOR IN THE MAIN AREA OF EACH UNIT SHALL ALSO BE A CO DETECTOR.
 - O. REPLACE ALL SHOWER/TUBS & VALVES PER MATRIX - APPROXIMATELY 70 UNITS
 - P. REPLACE ALL TOILETS INCLUDING REPLACING ELONGATED TOILETS IN HC UNITS.
 - Q. REPLACE DAMAGED OR RUSTED WASHER BOXES, AS PER MATRIX - APPROXIMATELY 40 UNITS.
 - R. REPLACE WATER HEATERS OLDER THAN 5 YEARS PER MATRIX - APPROXIMATELY 72 UNITS.
 - 1. INCLUDING OVERFLOW PANS & ENSURE THAT THEY ARE PIPED TO THE EXTERIOR.
 - 2. PROPERLY INSTALLED & SECURED EXPANSION TANKS.
 - 3. BACKFLOW PREVENTER
 - S. INSPECT & REPAIR/REPLACE INDIVIDUAL UNIT WATER SHUT-OFF VALVES IN LOCATIONS THAT ARE ACCESSIBLE TO THE TENANT & ADD LABELS.
 - T. REPLACE SINKS & FAUCETS IN ALL KITCHENS AND BATHROOMS.
 - U. REPLACE INTERIOR DOORS AS PER MATRIX - APPROXIMATELY 57 UNITS
 - V. REPLACE VINYL COATED WIRE SHELVING AS PER MATRIX - APPROXIMATELY 40 UNITS
 - W. HC UNITS:
 - 1. ADD ROUNDED CORNERS TO HC UNITS.
 - 2. ALL DOOR LOCKS TO BE PUSH-BUTTON (THUMB-TURN FOR DEADBOLT OK).
 - 3. REMOVABLE CABINET IN BATHROOM SHALL HAVE A DRAWER BASE ADJACENT TO THE TUB FOR INCREASED MANEUVERABILITY.
 - 4. POSSIBLY USE FOLD-UP SIDE GRAB BAR.
 - 5. CONTROLS NEAR SEAT OF ROLL-IN SHOWER.
 - 6. SPOUT & CONTROLS OF TUB/SHOWER OFFSET.
 - 7. STEP-IN SHOWER AT SECOND BATH IN HC.
 - X. ENSURE 100% MAKE UP AIR TO LAUNDRY CLOSET. MAY NEED TO ADD VENT.
 - Y. ENSURE NO FOREIGN OBJECTS ARE IN ANY ELEC. PANEL ENCLOSURES.
 - Z. UNIT ENTRY LIGHT MUST BE LOW-PROFILE (PROTRUDES <4")
 - AA. MECH CLOSETS SHALL HAVE A SINGLE CYLINDER DEADBOLT, ACCESSIBLE ONLY TO MAINTENANCE (NO DOORKNOB & NOT ACCESSIBLE TO TENANT).



4
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PROPOSED 3BR-HC
UNIT FLOOR PLAN

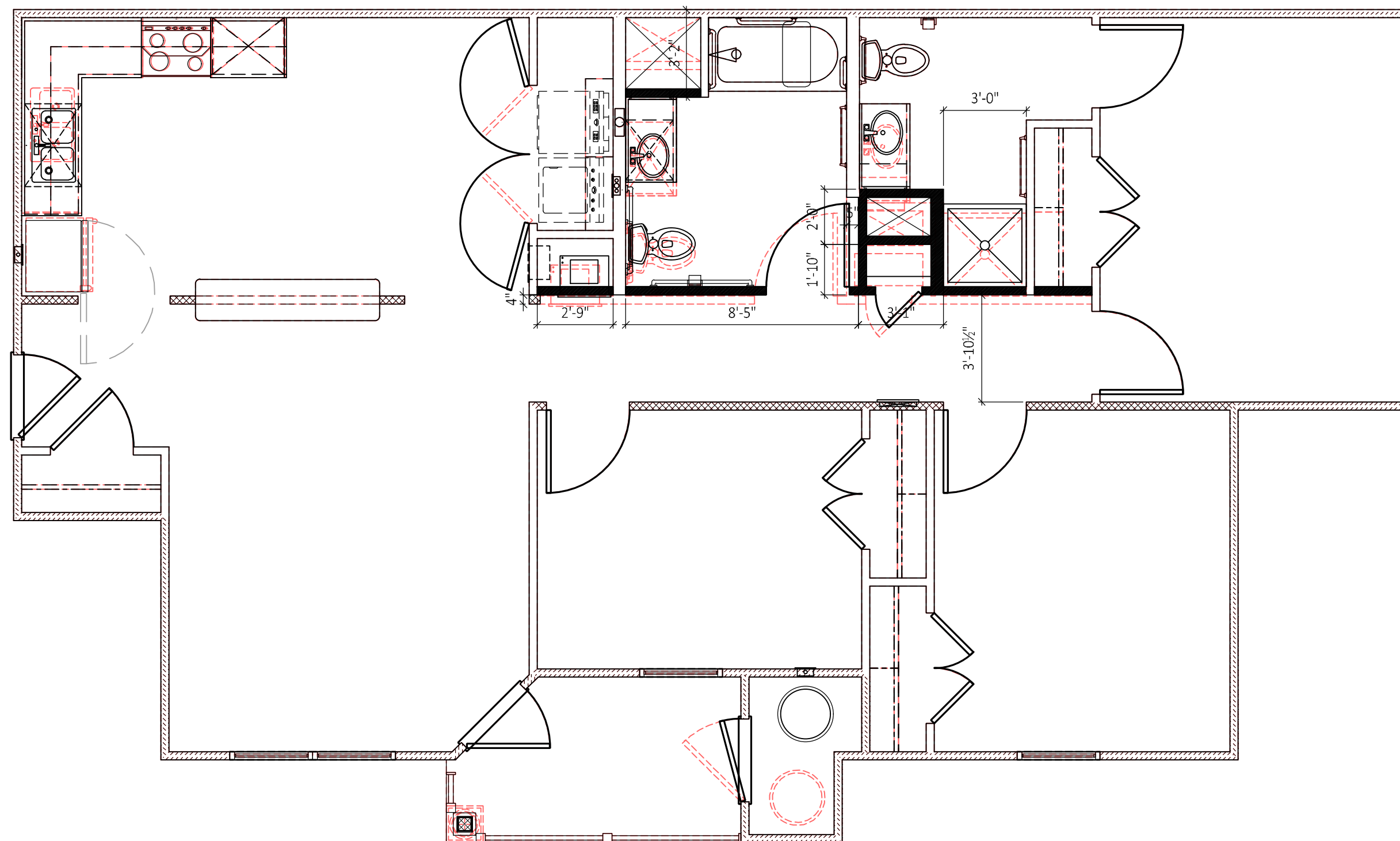
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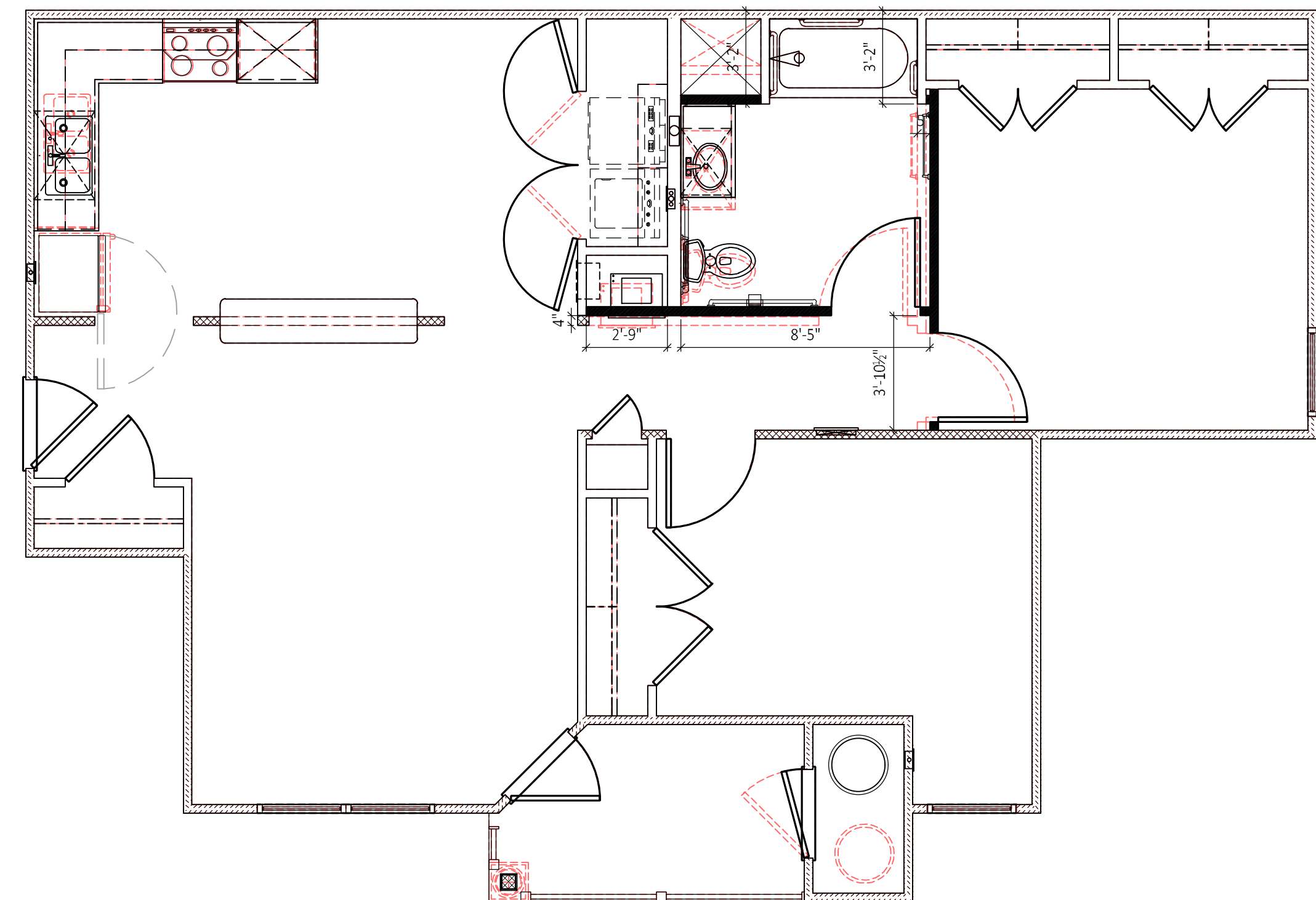
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PROPOSED 2BR-HC
UNIT FLOOR PLAN

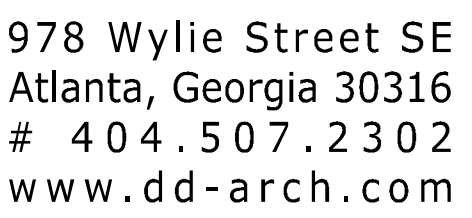
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3 DEMO & NEW WALLS FOR
3BR-HC UNIT FLOOR PLAN
A-2.02 1/4"=1'-0" 1178 SQ. FT. NET



1 DEMO & NEW WALLS FOR
A-2.02 2BR-HC UNIT FLOOR PLAN
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HC SHOWER UNIT PLANS

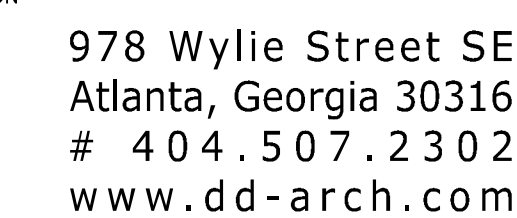
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1 DEMO & NEW WALLS FOR 2BR-HC
UNIT w/ SHOWER FLOOR PLAN

A-2.03 1/4"=1'-0" 955 SQ. FT. NET

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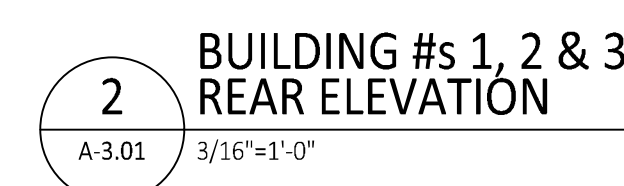
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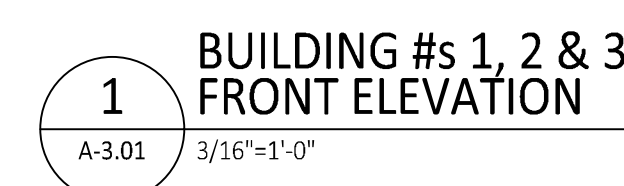
- NEW TRIANGULAR VINYL GABLE VENT (IF DAMAGED)
- NEW 30-YEAR FIBERGLASS ARCHITECTURAL SHINGLES
- NEW 18" x 24" VINYL GABLE VENT (IF DAMAGED)
- NEW SHAKE-STYLE VINYL SIDING
- 2x10 BAND TRIM w/ ALUMINUM WRAP & "Z" FLASHING
- NEW VINYL SIDING w/ 6" REVEAL
- EXISTING BRICK ROWLOCK ON SOLDIER ON ROWLOCK
- NEW SINGLE-HUNG VINYL WINDOW
- NEW VINYL CORNER TRIM
- EXISTING BRICK VENEER
- EXISTING BRICK ROWLOCK w/ NEW FLASHING

SCOPE OF WORK FOR BUILDING EXTERIOR IMPROVEMENTS:

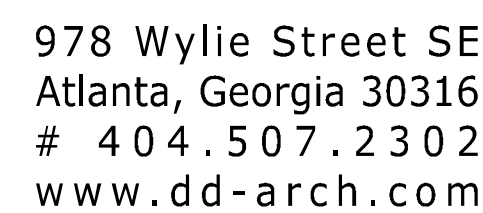
- A. REPLACE EXISTING EXTERIOR SIDING w/ VINYL & INSPECT FOR WATER INFILTRATION.
- B. REPAIR EXISTING FASCIA & BAND BOARD & INSPECT FOR WATER INFILTRATION.
- C. REPAIR & REPLACE THE SOFFIT AS NEEDED.
- D. REPLACE OUTSIDE CORNER POSTS.
- E. REPLACE ROUND COLUMNS w/ SQUARE COLUMNS (PT 6x6 w/ PREFINISHED ALUMINUM COLUMN WRAP).
- F. REPLACE PORCH RAILS w/ VINYL RAILING.
- G. ADD FLASHING ON ALL DECK LANDINGS.
- H. REPLACE ROTTING WOOD ON ALL PORCH BALCONIES.
- I. REPLACE WINDOWS.
- J. REPLACE ALL ROOFS.
- K. REPAIR ALL ROOF FLASHING AS NEEDED.
- L. REPLACE BRICK TO SIDING FLASHING.
- M. REPLACE EXTERIOR LIGHTING ON BUILDINGS.
- N. ADD CAMERAS FOR SECURITY.
- O. REMOVE & REPLACE BUILDING SIGNAGE w/ ANSI TYPE (RAISED LETTERS, BRAILLE, ETC.)
- P. REPAIR CRACKS IN BREEZEWAY CONCRETE & RESURFACE.
- Q. REPAIR OR REPLACE ALL GUTTERS & DOWNSPOUTS.
- R. REPLACE EXTERIOR DOORS. ADD PVC BRICK MOLD TRIM.
- S. SANDBLAST, TREAT, PRIME, & PAINT UNDERSIDE OF BREEZEWAY STEEL DECK TO REMOVE RUST.
- T. REFRAME SECOND FLOOR BREEZEWAYS TO REMOVE RAILING w/ KNEE-WALL (43" HIGH).
- U. REPLACE DAMAGED GABLE VENTS w/ ONES w/ INTEGRAL INTERIOR SCREENS.
- V. REPAINT ALL WOOD SURFACES.
- W. ADD DRAIN TO REMOVE STANDING WATER IN BREEZEWAYS IF NOTED.



- NEW 30 YEAR FIBERGLASS ARCHITECTURAL SHINGLES
- NEW 42" HIGH KNEEWALL w/ SIDING TO REPLACE METAL GUARDRAIL
- NEW 24" Ø VINYL GABLE VENT (IF DAMAGED)
- NEW SHAKE-STYLE VINYL SIDING
- NEW PREMANUFACTURED SQUARE COLUMN SURROUND
- NEW 43" HIGH VINYL GUARDRAIL
- EXISTING BRICK ROWLOCK ON SOLDIER ON ROWLOCK
- NEW VINYL SIDING w/ 6" REVEAL
- EXISTING BRICK SOLDIER
- NEW SINGLE-HUNG VINYL WINDOW
- NEW VINYL CORNER TRIM
- NEW 36" HIGH VINYL RAIL
- EXISTING BRICK ROWLOCK w/ NEW FLASHING
- EXISTING BRICK VENEER



- NEW 30-YEAR FIBERGLASS ARCHITECTURAL SHINGLES
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- NEW VINYL SIDING w/ 6" REVEAL
- EXISTING BRICK SOLDIER
- NEW SINGLE-HUNG VINYL WINDOW
- NEW VINYL CORNER TRIM
- NEW 36" HIGH VINYL RAIL
- EXISTING BRICK ROWLOCK w/ NEW FLASHING
- EXISTING BRICK VENEER

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- NEW TRIANGULAR VINYL GABLE VENT (IF DAMAGED)
- NEW 30-YEAR FIBERGLASS ARCHITECTURAL SHINGLES
- NEW 18" x 24" VINYL GABLE VENT (IF DAMAGED)
- NEW SHAKE-STYLE VINYL SIDING
- 2x10 BAND TRIM w/ ALUMINUM WRAP & "Z" FLASHING
- NEW VINYL SIDING w/ 6" REVEAL
- EXISTING BRICK ROWLOCK ON SOLDIER ON ROWLOCK
- NEW SINGLE-HUNG VINYL WINDOW
- NEW VINYL CORNER TRIM
- EXISTING BRICK VENEER
- EXISTING BRICK ROWLOCK w/ NEW FLASHING


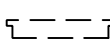











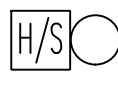
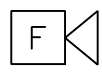
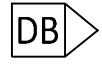


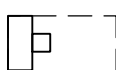
2 BLDG #s 4, 5, 6, 7, 8, & 9
REAR ELEVATION
A-3.02 3/16"=1'-0"




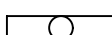






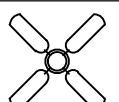
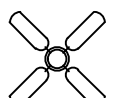




- NEW 30-YEAR FIBERGLASS ARCHITECTURAL SHINGLES
- NEW 43" HIGH KNEEWALL w/ SIDING TO REPLACE METAL GUARDRAIL
- NEW 24" Ø VINYL GABLE VENT (IF DAMAGED)
- NEW SHAKE-STYLE VINYL SIDING
- NEW PREMANUFACTURED SQUARE COLUMN
- NEW 43" HIGH VINYL GUARDRAIL
- EXISTING BRICK ROWLOCK ON SOLDIER ON ROWLOCK
- NEW VINYL SIDING w/ 6" REVEAL
- EXISTING BRICK SOLDIER
- NEW SINGLE-HUNG VINYL WINDOW
- NEW VINYL CORNER TRIM
- NEW 36" HIGH VINYL RAIL
- EXISTING BRICK ROWLOCK w/ NEW FLASHING
- EXISTING BRICK VENEER



- NEW 30-YEAR FIBERGLASS ARCHITECTURAL SHINGLES
- NEW VINYL GABLE VENT (IF DAMAGED)
- NEW 43" HIGH KNEEWALL w/ SIDING TO REPLACE METAL GUARDRAIL
- NEW 24" Ø VINYL GABLE VENT (IF DAMAGED)
- NEW SHAKE-STYLE VINYL SIDING
- NEW PREMANUFACTURED SQUARE COLUMN SURROUND
- NEW 43" HIGH VINYL GUARDRAIL
- EXISTING BRICK ROWLOCK ON SOLDIER ON ROWLOCK
- NEW VINYL SIDING w/ 6" REVEAL
- EXISTING BRICK SOLDIER
- NEW SINGLE-HUNG VINYL WINDOW
- NEW VINYL CORNER TRIM
- NEW 36" HIGH VINYL RAIL
- EXISTING BRICK ROWLOCK w/ NEW FLASHING
- EXISTING BRICK VENEER

- | | |
|----|---|
| A. | REPLACE EXTERIOR SIDING w/ VINYL & INSPECT FOR WATER INFILTRATION. |
| B. | REPAIR EXISTING FASCIA & BAND BOARD & INSPECT FOR WATER INFILTRATION. |
| C. | REPAIR & REPLACE THE SOFFIT AS NEEDED. |
| D. | REPLACE OUTSIDE CORNER POSTS. |
| E. | REPLACE ROUND COLUMNS w/ SQUARE COLUMNS (PT 6x6 w/ PREFINISHED ALUMINUM COLUMN WRAP). |
| F. | REPLACE PORCH RAILS w/ VINYL RAILING. |
| G. | ADD FLASHING ON ALL DECK LANDINGS. |
| H. | REPLACE ROTTING WOOD ON ALL PORCH BALCONIES. |
| I. | REPLACE WINDOWS. |
| J. | REPLACE ALL ROOFS. |
| K. | REPAIR ALL ROOF FLASHING AS NEEDED. |
| L. | REPLACE BRICK TO SIDING FLASHING. |
| M. | REPLACE EXTERIOR LIGHTING ON BUILDINGS. |
| N. | ADD CAMERAS FOR SECURITY. |
| O. | REMOVE & REPLACE BUILDING SIGNAGE w/ ANSI TYPE (RAISED LETTERS, BRAILLE, ETC.) |
| P. | REPAIR CRACKS IN BREEZEWAY CONCRETE & RESURFACE. |
| Q. | REPAIR OR REPLACE ALL GUTTERS & DOWNSPOUTS. |
| R. | REPLACE EXTERIOR DOORS. ADD PVC BRICK MOLD TRIM. |
| S. | SANDBLAST, TREAT, PRIME, & PAINT UNDERCOAT OF BREEZEWAY STEEL DECK TO REMOVE RUST. |
| T. | REFRAME SECOND FLOOR BREEZEWAYS TO REMOVE RAILING w/ KNEE-WALL (43" HIGH). |
| U. | REPLACE DAMAGED GABLE VENTS w/ ONES w/ INTEGRAL INTERIOR SCREENS. |
| V. | REPAINT ALL WOOD SURFACES. |
| W. | ADD DRAIN TO REMOVE STANDING WATER IN BREEZEWAYS IF NOTED. |

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	RECESSED ELECTRICAL PANEL - TOP BREAKER @ 54" A.F.F. (48" A.F.F. IN ALL ACCESSIBLE & GROUND FLOOR UNITS)
	SURFACE MOUNTED MEDIA PANEL/ROUTER INTERFACE BOX MOUNTED WITH BOTTOM 12" A.F.F. ROUTE PHONE LINES & CO-AX CABLE TO THIS BOX & PROVIDE AN AFI OUTLET WITHIN
	JUNCTION BOX
	SINGLE POLE SWITCH - MOUNTED @ 44" A.F.F. OR AS NOTED ON PLANS
	PULL CORD SWITCH FOR ALARM IN (a) & (as) UNITS - MOUNTED @ 44" A.F.F.
	DUPLEX OUTLET - MOUNTED @ 18" A.F.F. OR AS NOTED ON PLANS
	RECESSED DUPLEX FLOOR OUTLET w/ COVER
	DUPLEX GFI OUTLET - MOUNTED AS NOTED ON PLANS
 GFI/W/P	DUPLEX GFI/WEATHERPROOF OUTLET - MOUNTED @ 18" A.F.F. IN RECESSED COVERED OUTLET BOX
 220V	SIMPLEX 220 VOLT OUTLET - MOUNTED @ 18" A.F.F.
	CABLE TV CO-AX OUTLET - MOUNTED @ 18" A.F.F.
	TELEPHONE OUTLET - MOUNTED @ 18" A.F.F.
	DATA OUTLET - MOUNTED @ 18" A.F.F.
	HORN & STROBE FOR (a) & (as) UNITS ONLY. MOUNTED ABOVE EXTERIOR DOOR @ 90" A.F.F.
	FIRE ALARM ENUNCIATOR. SEE FIRE ALARM PLANS FOR TYPE. WIRED TO HOUSE PANEL.
	HORN & STROBE DOORBELL ENUNCIATOR FOR (av) UNITS ONLY
 S.D.	INTERCONNECTED, HARDWIRED SMOKE DETECTOR w/ BATTERY BACKUP. ONE DETECTOR IN COMMON AREA SHALL ALSO BE A CARBON MONOXIDE (CO) DETECTOR
	THERMOSTAT - TOP @ 54" A.F.F. (48" A.F.F. IN ALL ACCESSIBLE AND GROUND FLOOR UNITS) - SEE MECHANICAL PLANS
	ELECTRICAL METER

SYMBOL	ABBREV.	DESCRIPTION	COMPANY	MODEL #/FINISH
	A1	CFL, CEILING SURFACE MOUNT	PROGRESS LIGHTING	P3816-09 EBWB/BRUSHED NICKEL
	A2	CFL, WALL MOUNT, VANITY	PROGRESS LIGHTING	P2159-09/BRUSHED NICKEL
	A3	LED RECESSED CAN LIGHT	PROGRESS LIGHTING	P810013-028-30W
	B1	FLUORESCENT 2-BULB, OVAL LIGHT	PROGRESS LIGHTING	P232R8
	B2	BREEZEWAY/EXTERIOR LIGHT	PROGRESS LIGHTING	P5704-30W
	B3	LED WALLPACK BUILDING LIGHT	KEYSTONE	KT-WPLED35-M1-8CSB-VDIM
	B4	BUILDING NUMBER SIGN LIGHT	TBD	TBD
	C1	LED, UNIT ENTRY, WALL MOUNTED @ 7' A.F.F.	PROGRESS LIGHTING	P560072-031-30 - Z-1060/BLACK
	C2	EXTERIOR PORCH CEILING LIGHT w/ LED BULBS	PROGRESS LIGHTING	P5745-30
	D1	CFL, DECORATIVE PENDANT	PROGRESS LIGHTING	P5094-30
	E1	ENERGY STAR CEILING FAN w/ LED LIGHT KIT	PROGRESS LIGHTING	P250016-030W & P2611-30WB
	E2	EXTERIOR GRADE ENERGY STAR CEILING FAN w/ LED LIGHT KIT FOR DAMP AREA	PROGRESS LIGHTING	P2502-30 & P2611-30WB
	EM	LED EMERGENCY LIGHT w/ BATTERY BACK UP	PROGRESS LIGHTING	PE2EU
	EX	EXIT LIGHT w/ BATTERY BACK UP	PROGRESS LIGHTING	PETPE-UR-30-RC
	EF-1	ENERGY STAR EXHAIST FAN w/ FIRE DAMPER	SEE MECHANICAL PLANS	SEE MECHANICAL PLANS
	EWH-1	ELECTRIC WALL HEATER SET TO 40°	SEE MECHANICAL PLANS	SEE MECHANICAL PLANS

ELECTRICAL NOTES:

1. DO NOT SCALE DRAWINGS, REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF DOORS, WINDOWS, AND CEILING OR WALL DEVICES.
2. ROUTE ALL CONDUIT AS INDICATED, BUT SO AS NOT TO DEFACE BUILDING.
3. VERIFY ANY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
4. WHERE CONDUITS OR OTHER UTILITIES ARE ABANDONED, THEY SHALL BE TERMINATED IN A SAFE CONDITION. WHERE UTILITIES OR CONTROL DEVICES ARE TO BE LEFT IN SERVICE, THEY SHALL BE RETURNED TO OPERATIONAL CONDITION. DAMAGE TO STRUCTURE BEYOND CUTTING AND PATCHING FOR WORK INDICATED WILL BE REPAIRED TO EXISTING CONDITION AT CONTRACTORS EXPENSE.
5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE IN FORCE AT TIME OF PERMIT AND ALL GOVERNING LOCAL CODES OR ORDINANCES. ALL MATERIALS SHALL BE NEW AND SHALL BE UNDERWRITER'S LABORATORIES APPROVED.
6. COORDINATE ALL CIRCUITING REQUIREMENTS WITH OTHER DISCIPLINES. REVIEW ALL DIVISIONS AND SECTIONS FOR ADDITIONAL REQUIREMENTS OR COORDINATION.
7. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WALL-MOUNTED OUTLETS SHALL BE MOUNTED 18" ABOVE FINISHED FLOOR TO OUTLET CENTERLINE.
8. ALL CONDUCTORS SHALL BE COPPER & COLOR CODED IN ACCORDANCE w/ NEC.
9. UNLESS SPECIFICALLY INDICATED OTHERWISE. EXTERIOR LIGHTING CONDUCTORS SHALL BE MINIMUM #8 AWG. FURNISH & INSTALL "GROUNDING" IN ACCORDANCE w/ NEC ARTICLE 250.
10. ALL SMOKE DETECTORS TO BE HARD WIRED w/ BATTERY BACK UP & INTERCONNECTED TO ALL SIGNALS AT THE SAME TIME IN ALL UNITS.
11. THE SMOKE DETECTORS ARE TO HAVE AN AUDIBLE ALARM OF MIN. 80 DECIBELS THROUGHOUT THE UNIT. THE SMOKE DETECTOR SHALL ALSO SOUND AN AUDIBLE ALARM THAT IS 15 DECIBELS OVER THE AMBIENT ROOM SOUND AT PILLOW LEVEL w/ BEDROOM DOOR CLOSED.
12. ALL EXTERIOR LIGHTS & OUTLETS TO BE MOUNTED w/ A MOUNT-MASTER SYSTEM THAT IS COMPATIBLE WITH THE VINYL SIDING.
13. PROVIDE STROBE AT 7' A.F.F. IN THE BATHROOM, BEDROOM, & COMMON AREA OF THE DESIGNATED HEARING/VISUAL IMPAIRED UNITS (av).
14. FIRE ALARM SUB-CONTRACTOR TO FURNISH CERTIFICATE OF INSTALLATION ON FIRE ALARM SYSTEM.
15. ALL PULL STATION BOXES, HORN & STROBE BOXES MUST BE ACCESSIBLE FOR INSPECTION OF WIRING.
16. ALL 125 VOLT, 15- & 20-AMPERE RECEPTACLES SHALL BE TAMPER-RESISTANT, RECEPTACLES IN DWELLING UNITS.
17. ALL DUPLEX OUTLETS ARE TO BE AFI.
18. ALL H/C UNITS (a) & (as) MUST HAVE EMERGENCY PULL CORD SWITCHES IN BATHROOMS & BEDROOMS WIRED TO EXTERIOR HORN/STROBE ABOVE ENTRY DOOR.
18. ALL H/C UNITS (a) & (as) MUST PROVIDE REMOTE SWITCHING FOR THE RANGE HOOD VENT & FAN ADJACENT TO THE WORK/KNEE SPACE.
19. PRE-WIRE ALL UNIT MECHANICAL CLOSETS FOR FUTURE DEHUMIDIFIERS.
20. ALL SWITCH, CABLE, PHONE, COMMUNICATION, AND OUTLET COVERS TO BE WHITE IN COLOR.
21. DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET OR SWITCH, UNO.



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404.507.2302
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**Southview Green Apts.
Rehabilitation**
33143 Round Grove Place
Hope Mills, North Carolina 28348

[illegible]

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ELECTRICAL NOTES LEGEND AND SCHEDULES

E-0.01

NOT RELEASED FOR CONSTRUCTION

Southview Green Apts.
Rehabilitation
33143 Round Grove Place
Hope Mills, North Carolina 28348

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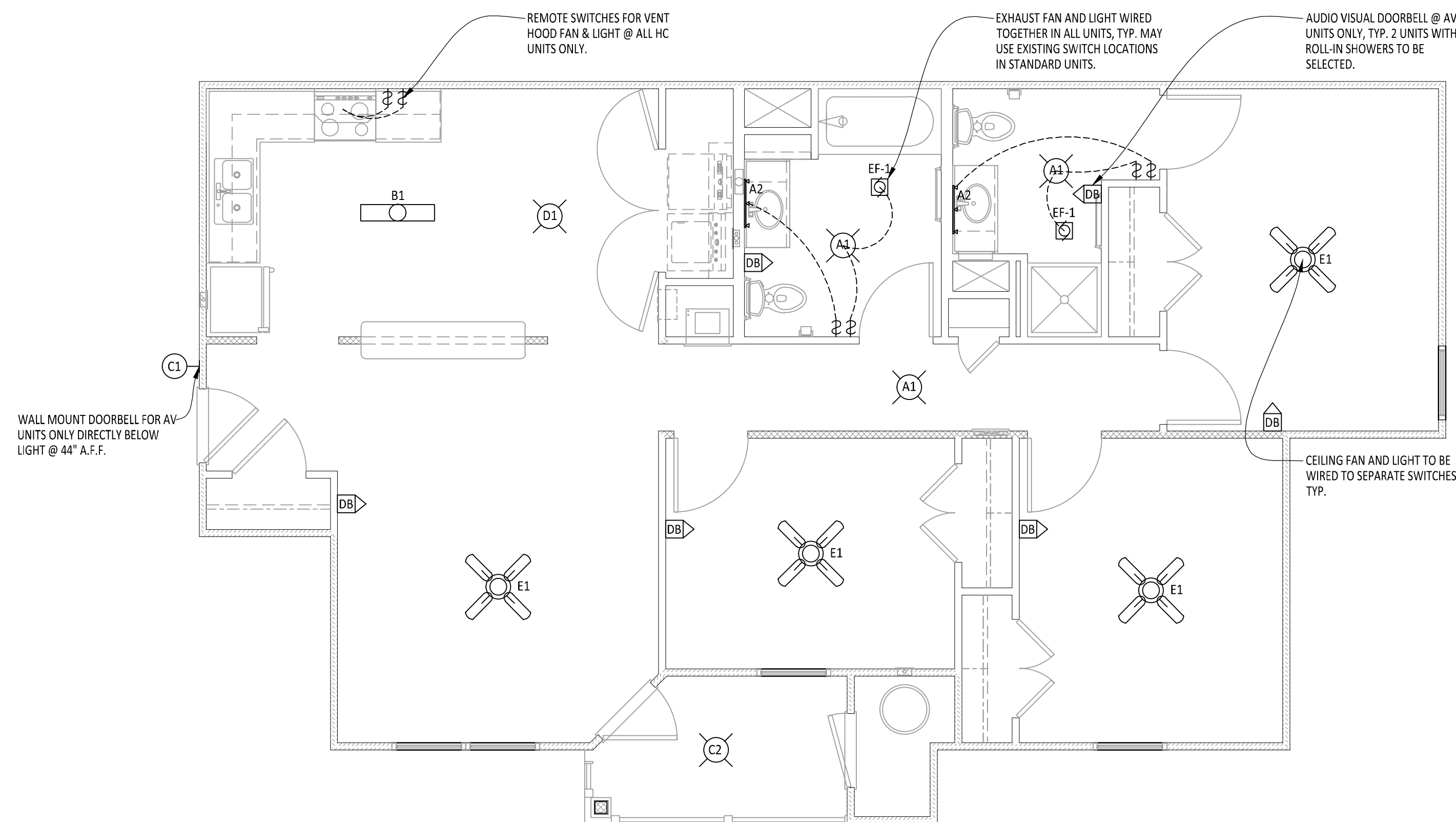
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STANDARD UNIT PLANS

E-2.01

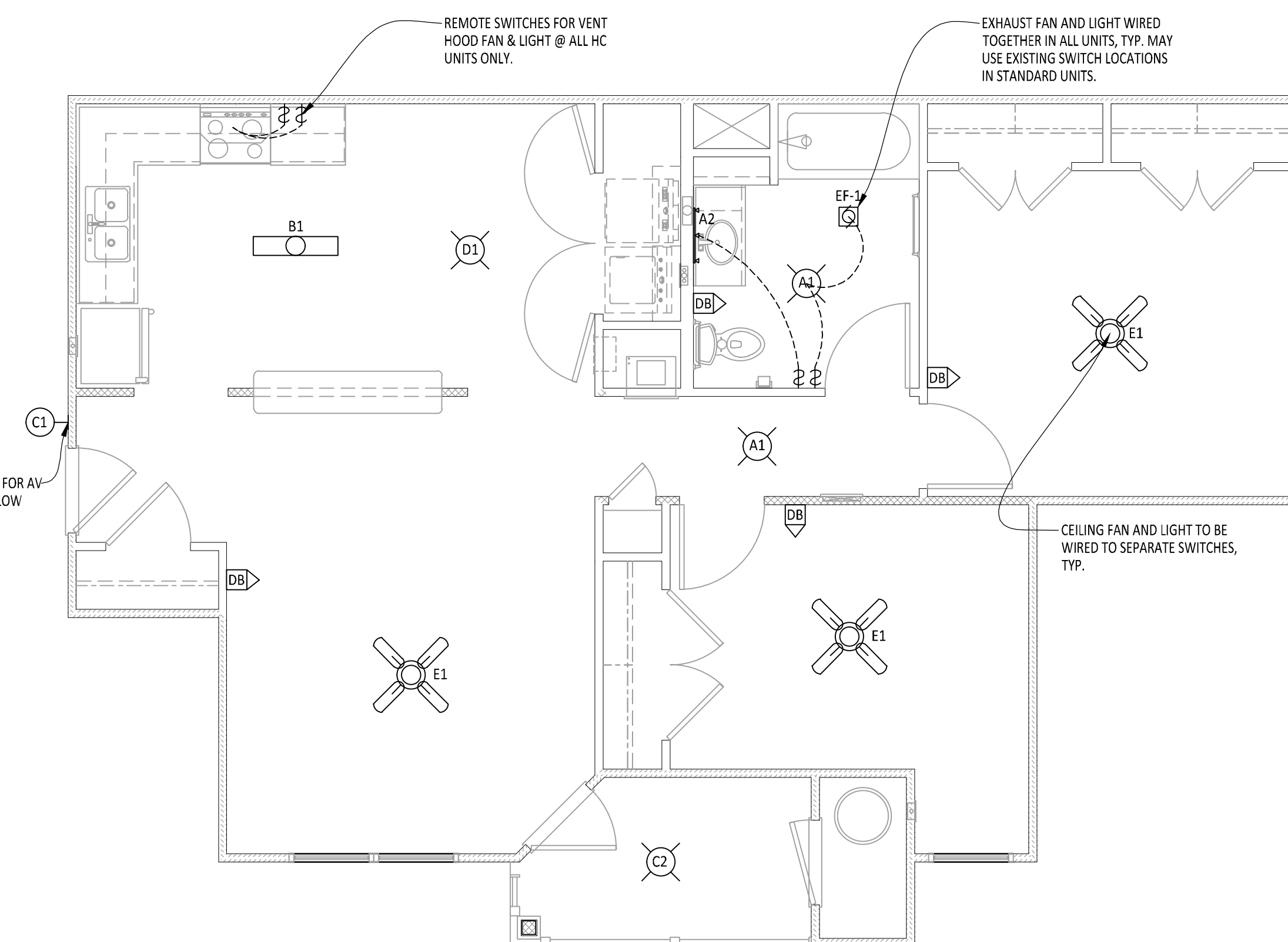
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2
E-2.01

3BR UNIT
ELECTRICAL PLAN

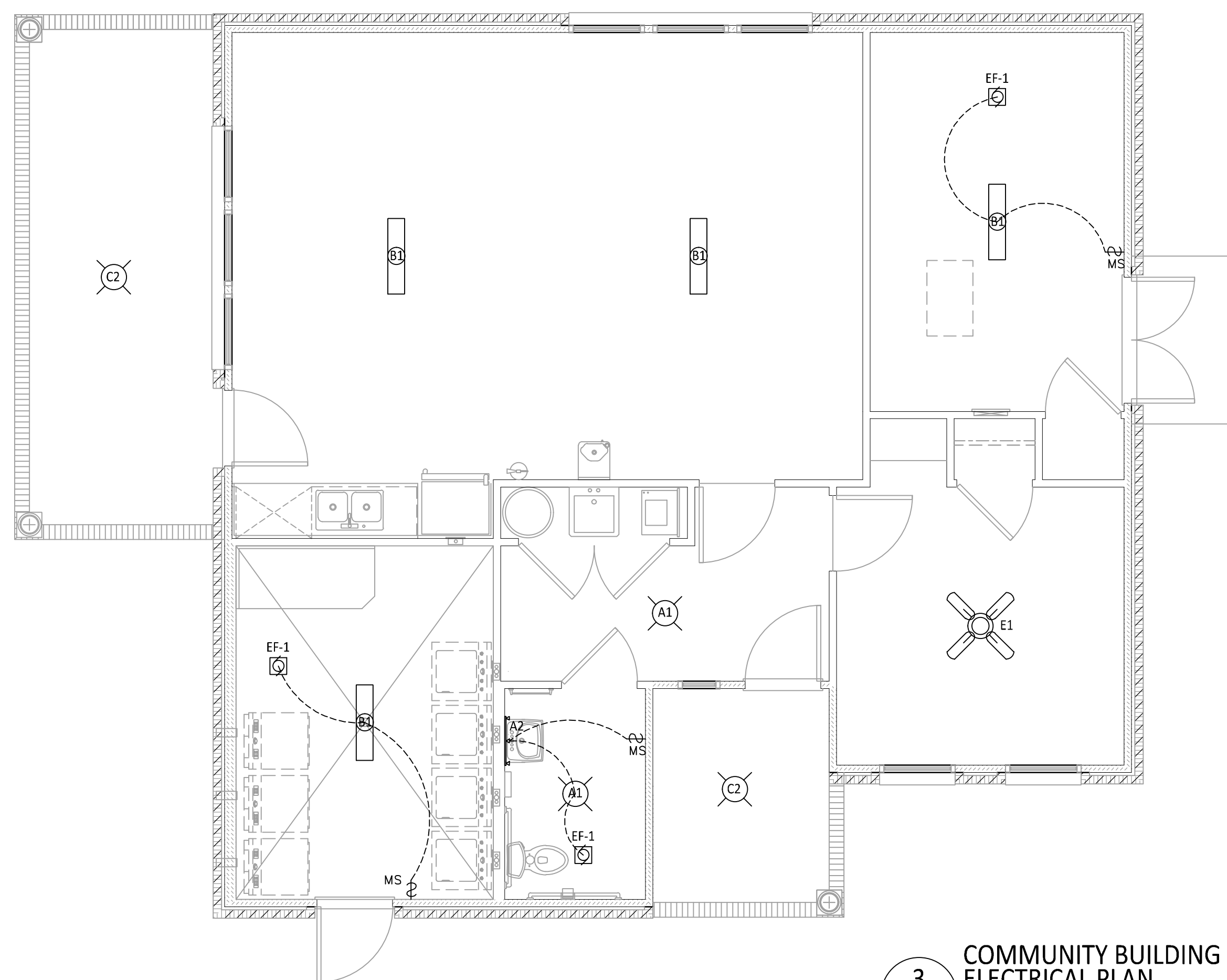
1/4"=1'-0" ALL 3BR UNITS SIMILAR



1
E-2.01

2BR UNIT
ELECTRICAL PLAN

1/4"=1'-0" ALL 2BR UNITS SIMILAR

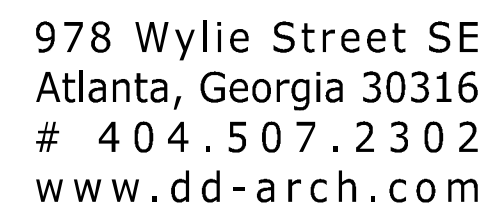


3 COMMUNITY BUILDING
ELECTRICAL PLAN

PLOTTED: 4/24/2025 4:09:51 PM - DRAWING: D:\Projects\DUGGINS\24-002 Fayetteville, NC\24-002-E2-01.dwg - PLOTTED BY: Hugh Dinteman - COPYRIGHT 2025

0 2' 4' 8'

SCALE: $\frac{1}{4}" = 1'-0"$

[illegible]

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P-0.01

PLUMBING FIXTURE SCHEDULE							
MARK	HOT WATER	COLD WATER	VENT	WASTE	FIXTURE	MODEL #	NOTES
CW	½"	½"	2"	2"	Washer Hookup	Oatey: 38470 for Fire-rated wall (1hr) Oatey: 38550 for Un-rated wall	Mount @ 42" A.F.F to the bottom of the box. Includes lint trap. Fire-rating of box shall match wall. When Connected Hose shall not block valve.
DW	¾"	-	1-½"	2"	Dishwasher	See Appliance Schedule	See Appliance Schedule
FD	-	½"	2"	2"	Floor Drain	Jones Stephen Corp	3" x 4" Level Best Pipe Fit Drain Base w/ 3" Plastic Spud & 5" Nickel Bronze Round Strainer Primer tapped w/ 1/2" IPS Plug. Provide Trap Primer
HB	-	½"	-	-	Hose Bib (Sill-cock)	Woodford: 101PX	Frostproof
HD	-	½"	2"	2"	Hub Drain	Jones Stephen Corp	3" x 4" Level Best Pipe Fit Drain Base w/ 3" Plastic Spud & 5" Nickel Bronze Round Strainer Primer tapped w/ 1/2" IPS Plug. Provide Trap Primer
IM	-	¾"	-	-	Ice Maker Hook-up	IPS: Metal FR-12 for Fire-rated wall (1hr) Water Tite: AB9202 for Un-rated wall	Use rated box in partition wall
KS-a	¾"	¾"	1-½"	2"	ANSI Type "A" Kitchen Sink for Units w/ (a), (as), or (as)(av) designations & Common Areas	Dayton: GE23321 Reair Drain S.S. Sink Proflow: PFXC3111CP Kitchen Faucet	6" deep max. w/ rear drain. Includes basin, controls, spout, sprayer & stoppers.
KS-b	¾"	¾"	1-½"	2"	Kitchen Sink for Units w/ (b) designation, or no designation (upper floors)	Aquatic: 2603SMTE 1-piece tub/shower w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture & grab bars that comply w/ ANSI/ICC A117.1-2009. Includes seat, offset spout, offset mixing valve, & trip-lever stopper.
LAV	¾"	¾"	1-½"	2"	Lavatory	Proflow: PFWS3016CP Lavatory Faucet	Water Sense labeled (1.5 gals/minute max.) Includes controls/spout, pop-up stopper & basin
SHD	¾"	¾"	1-½"	2"	Shower Head	Proflow: PF7611SCP Shower Head	Water Sense labeled (1.75 gals/minute max.)
SHW	¾"	¾"	1-½"	2"	ANSI Type "A" Roll-in Shower Surround for Units w/ (as), or (as)(av) designations	Aquatic: 1603BFS0 - 1-piece (4" roll-in threshold 36" x 60" inside clear. Installed to have roll-in threshold w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture, grab bars & seat that comply w/ ANSI/ICC A117.1-2009. Includes mixing valve, and diverter so shower wand, shower head, or both may be used. Include removable curb.
TUB-a	¾"	¾"	1-½"	2"	ANSI Type "A" Tub Surround for Units w/ (a), (as), or (as)(av) designations	Aquatic: 2603SMTE 1-piece tub/shower w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture & grab bars that comply w/ ANSI/ICC A117.1-2009. Includes seat, offset spout, offset mixing valve, & trip-lever stopper.
TUB-b	¾"	¾"	1-½"	2"	ANSI Type "B" Tub Surround for Units w/ (b) designation	Aquatic: 2603STM 1-piece tub/shower w/ ANSI Grab Bar Reinforcing	Factory Installed Wood Reinforcing integrated into the bathing fixture for future grab bars that comply w/ ANSI/ICC A117.1-2009. Includes offset spout, offset mixing valve, & trip-lever stopper.
TUB-c	¾"	¾"	1-½"	2"	Tub Surround for Upper Level Units w/ no designation	Aquatic: 2603SGM 1-piece fiberglass tub/shower. Upper levels only. No reinforcing required.	Includes spout, mixing valve, & trip-lever stopper.
US	¾"	¾"	1-½"	2"	ANSI Type "A" Tub Surround for Units w/ (a), (as), or (as)(av) designations	Aquatic: 2603SMTE 1-piece tub/shower w/ ANSI Grab Bar Option	Factory Installed Wood Reinforcing integrated into the bathing fixture & grab bars that comply w/ ANSI/ICC A117.1-2009. Includes seat, offset spout, offset mixing valve, & trip-lever stopper.
WC-a	-	¾"	2"	3"	ANSI Type "A" Water Closet for Units w/ (a), (as), or (as)(av) designations & Common Areas	Proflow: PF1503WH ADA HEIGHT HET Bowl Proflow: PF6112WH 1.28 HET Tank	Complies w/ ANSI/ICC A117.1-2009 in Units, ADA-2010 in Common Areas. Water Sense labeled (1.28 gal/flush max.) Includes seat & lid. Flush control on open side. Use commercial seat (open, w/o lid) in common areas.
WC-b	-	¾"	2"	3"	Water Closet for Units w/ (b) designation, or no designation (upper floors)	Proflow: PF1503WH elongated HET Bowl Proflow: PF6112WH 1.28 HET Tank	Complies w/ ANSI/ICC A117.1-2009 in Units. Water Sense labeled (1.28 gal/flush max.) Includes seat & lid. Flush control on open side.
WF	-	¾"	1-½"	2"	Hi/Lo Water Fountain	Elkay: EMABFTLDDSC	Complies w/ ADA-2010
WND	¾"	¾"	-	-	ANSI Type "A" Shower Wand for Units w/ (as), or (as)(av) designations	Proflow: PFO5844CP Hand Shower Wand Proflow: PFO5130CP Slide Bar	Shall be Water Sense labeled (1.75 gals/minute max.) Includes 60" adjustable slider able to place wand w/in reach ranges (see Interior Elevations).

1. SHOWER SURROUND MAY BE TILED ENCLOSURE W/ TILE ON CEMENTITIOUS BACKING INSTEAD OF ONE-PIECE FIBERGLASS SURROUND. IN ALL CASES 2x10 REINFORCING SHALL BE INSTALLED BETWEEN THE STUDS IN LOCATIONS AS INDICATED ON THE DRAWINGS IN ADDITION TO FLOOR-INSTALLED WOOD REINFORCING INTEGRATED INTO THE BATHING FIXTURE
2. SIMILAR MODELS MAY BE ACCEPTABLE WITH ARCHITECT APPROVAL
3. TYPICAL VALVES, HOSES, ESCUTCHEONS, ETC. ARE ALSO REQUIRED AS PER COMMON INSTALLATIONS.
4. ALL GRAB BAR LOCATIONS AND BLOCKING SHALL BE AS INDICATED ON UNIT INTERIOR ELEVATIONS.

ALTERNATE MODELS MAY BE INSTALLED IF APPROVED BY ARCHITECT.

1. PIPING SHOWN IS DIAGNOSTIC - ACTUAL PIPE LOCATIONS MY VARY.
2. DO NOT SCALE DRAWINGS.
3. REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF DOORS, WINDOWS AND CEILING DEVICES.
4. ROUTE ALL PIPING AND CONDENSATE AS INDICATED, BUT SO AS NOT TO DEFACE EXTERIOR OF BUILDING. VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
5. FURNISH AND INSTALL ALL SYSTEMS OF WASTE AND VENT PIPING, HOT WATER PIPING AND COLD WATER PIPING, INCLUDING ALL FITTINGS, VALVES, ETC. AS REQUIRED.
6. FURNISH AND INSTALL ALL PLUMBING FIXTURES AND EQUIPMENT AS SHOWN ON THE DRAWINGS.
7. ALL PLUMBING SHALL BE COMPLETE WITH ESCUTCHEON COVERS AND OTHER ITEMS THAT MAY NOT BE SHOWN ON THE DRAWINGS TO PROVIDE A FINISHED APPEARANCE.
8. PROVIDE SHUT-OFF VALVES AT EACH FIXTURE.
9. ALL PLUMBING PIPING SHALL BE CONCEALED WITHIN THE BUILDING STRUCTURE AND ABOVE DROPPED CEILING.
10. NO PIPING IS ALLOWED IN UNCONDITIONED SPACES
11. HOT AND COLD WATER PIPING SHALL BE TYPE XPC OR CPVC EXCEPT WHERE VISIBLE AND THEN IT SHALL BE A FINISH PIPING MATERIAL (CHROME FOR SHOWER, BRAIDED FLEXIBLE HOSE FOR WATER CLOSET SUPPLY)
12. CLEANOUTS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS AT EACH CHANGE IN DIRECTION CLEANOUTS. SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
13. THE PLUMBING CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL DIVISIONS TO AVOID INTERFERENCE WITH TRADES.
14. INSTALL THE WATER CLOSURE VALVE ON THE FIRE LINE ON THE MAIN WATER DOMESTIC WATER LINE. THE VALVE CLOSURE POINT PRACTICAL NEAR THE DOMESTIC WATER METER.
15. INSTALL DOUBLE DETECTOR CHECK VALVE BACK-FLOW ASSEMBLY ON THE FIRE LINE AT THE CLOSEST POINT PRACTICAL TO THE FIRE WATER METER.
16. FROST-PROOF EXTERIOR FAUCET TO BE INSTALLED ON EXTERIOR WALLS.
17. INSTALL HOSE BIBB VACUUM BREAKERS AT ALL OUTDOOR WATER SPOUTS
18. WATER SERVICE SHALL BE INSTALLED WITH A BYPASS FOR TESTING OF METER.
19. ALL BATHROOM FAUCETS, SHOWER HEADS, AND TOILETS MUST BE EPA WATER-SENSE RATED (SEE PLUMBING SCHEDULE).

